

PRELIMINARY & FINAL SITE PLAN

BLOCK 1804, LOT 13

SOUTH MORRIS STREET & MONMOUTH AVENUE

TOWN OF DOVER

MORRIS COUNTY NEW JERSEY

LIST OF PROPERTY OWNERS WITHIN 200'

BLOCK 510, LOT 6 NEW JERSEY TRANSIT CORPORATION 1 PENN PLAZA EAST NEWARK, NJ 07105	BLOCK 1804, LOT 17 RAMADA, ELHAM 12 SPARTAN AVE PARSIPPANY, NJ 07054	BLOCK 1214, LOT 6 NIEVES, VENANCIA 17 MONMOUTH AVE DOVER, NJ 07801
BLOCK 1804, LOT 5 PLANTEN JOSE A & AIDA L 19 MOUNTAIN AVE DOVER, NJ 07801	BLOCK 1804, LOT 18 RAMADAN, ALI 12 SPARTAN AVE PARSIPPANY, NJ 07054	BLOCK 1214, LOT 7 DEVILLE, WILLIAM 513 WINDMORE AVE MT ARLINGTON, NJ 07856
BLOCK 1804, LOT 10 ALFA ASSET BUILDERS LLC 253 EAST BLACKWELL ST DOVER, NJ 07801	BLOCK 1804, LOT 19 PALACIOS CESAR 49 MOUNTAIN AVE DOVER, NJ 07801	BLOCK 1214, LOT 8 BELL ATLANTIC DUFF & PHELPS PO BOX 2749 ADDISON, TX 75001
BLOCK 1804, LOT 11 MORRIS MILESTONE MANOR LLC 60 N SUSSEX ST DOVER, NJ 07801	BLOCK 1803, LOT 11 TOWN OF DOVER PARKING AUTHORITY 37 N SUSSEX ST DOVER, NJ 07801	BLOCK 1214, LOT 9 JANAK JR LLC 26 S MORRIS ST DOVER, NJ 07801
BLOCK 1804, LOT 12 MORRIS MILESTONE MANOR LLC 60 N SUSSEX ST DOVER, NJ 07801	BLOCK 1214, LOT 3 PALACIOS, CARLOS & HERNANDEZ, VILMA 23 MONMOUTH AVE DOVER, NJ 07801	BLOCK 1214, LOT 10 JANAK JR LLC 26 S MORRIS ST DOVER, NJ 07801
BLOCK 1804, LOT 15 GALLOZA MINERVA 14 MONMOUTH AVE DOVER, NJ 07801	BLOCK 1214, LOT 4 PORTILLO, ROSE E 21 MONMOUTH AVE DOVER, NJ 07801	BLOCK 1214, LOT 11 BELL ATLANTIC DUFF & PHELPS PO BOX 2749 ADDISON, TX 75001
BLOCK 1804, LOT 16 GALLOZA HECTOR B & ROBERTO 14 MONMOUTH AVE DOVER, NJ 07801	BLOCK 1214, LOT 5 ROBALINO, GERARDO CALVOPINA 19 MONMOUTH AVE DOVER, NJ 07801	BLOCK 1214, LOT 12 NJ HOME CLOSING NETWORK INC 43 W BLACKWELL ST DOVER, NJ 07801
		BLOCK 1214, LOT 13 THOMSON PROPERTIES LLC 63 N SUMMIT AVE CHATHAM, NJ 07928

PARKING REQUIREMENTS

ITEM	REQUIRED	PROVIDED
PARKING CALCULATIONS:		
MINIMUM NUMBER OF HANDICAP PARKING SPACES REQUIRED	1 HANDICAP PARKING SPACE	1 HANDICAP PARKING SPACE
MINIMUM SPACE SIZE (HANDICAP SPACE)	8' x 18'	8' x 18'
MINIMUM NUMBER OF LOADING SPACES REQUIRED	1 LOADING SPACE	1 LOADING SPACE

SIGN REQUIREMENTS

ITEM	REQUIRED	PROPOSED
FREESTANDING SIGNS:		
MAXIMUM FREESTANDING SIGN SIZE	4 FT x 8 FT	4 FT x 3 FT
STREET RIGHT-OF-WAY LINE SETBACK	5 FT	5 FT
BUILDING MOUNTED SIGNS:		
MONMOUTH AVENUE:		
MAXIMUM SIGN SIZE	4 FT x 8 FT	4 FT x 8 FT

(1) SEE ARCHITECTURAL PLANS FOR SIGNS

THE NET INCREASE IN IMPERVIOUS COVERAGE IS LESS THAN 1/4 ACRES AND TOTAL AREA OF DISTURBANCE IS LESS THAN 1 ACRE. THEREFORE, THE PROJECT IS NOT CONSIDERED A MAJOR PROJECT AND IS NOT SUBJECT TO STORMWATER REGULATIONS.

TOTAL INCREASE IN IMPERVIOUS COVERAGE = 5,306 SF OR 0.12 ACRES
TOTAL LIMIT OF DISTURBANCE = 15,000 SF OR 0.344 ACRES < 1.0 ACRES

PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE
TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

TOWN ENGINEER _____ DATE _____

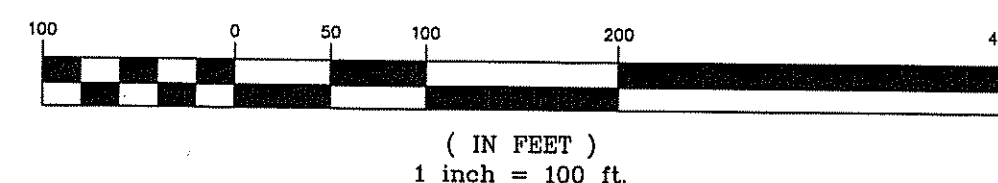
SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET
2	SITE LAYOUT PLAN
3	GRADING & UTILITY PLAN
4	LIGHTING & LANDSCAPING PLAN
5	SOIL EROSION & SEDIMENT CONTROL PLAN
6	SOIL MOVING PLAN
7	STEEP SLOPE ANALYSIS PLAN
8	CONSTRUCTION NOTES & DETAILS

KEY MAP

SCALE: 1" = 100'±

GRAPHIC SCALE



NOTES AND REFERENCES

- APPLICANT: ALFA INVESTMENTS, LLC
C/O: ROGER GUPTA
#263 EAST BLACKWELL STREET
DOVER, NJ 07801
- THESE PLANS HAVE BEEN PREPARED FOR PRELIMINARY AND FINAL SITE PLAN APPROVAL FOR PROPERTY KNOWN AS BLOCK 1804, LOT 13 LOCATED IN THE TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY. THE APPLICANT IS CONSTRUCTING A 6 STORY 23 UNIT APARTMENT BUILDING AND ASSOCIATED SITE IMPROVEMENTS.
- THE SUBJECT PROPERTY IS 0.302 ACRES IN SIZE AND LOCATED ENTIRELY WITHIN THE SINGLE FAMILY (R-2) ZONE DISTRICT OF THE TOWN OF DOVER. A REDEVELOPMENT PLAN HAS BEEN APPROVED DATED NOVEMBER 18, 2025 AND IS IMPLEMENTED FOR THE SUBJECT PROPERTY. THE PROPERTY HAS FRONTAGE ALONG SOUTH MORRIS STREET AND MONMOUTH AVENUE.
- UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. FIELD MARKOUT CAN BE REQUESTED BY CALLING 1-800-242-1000.
- BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS BASED ON MAP TITLED "TOPOGRAPHIC SURVEY, TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY, TAX MAP SHEET 18, BLOCK 1804, LOT 13" PREPARED BY JAMAN ENGINEERING ASSOCIATES, DATED 5/15/21, AND LAST REVISED 3/29/26. VERTICAL DATUM IS ASSUMED.
- THERE ARE NO FLOODPLAINS OR FLOODWAYS ON THE SUBJECT PROPERTY PER FIRM MAPPING.
- THERE ARE NO FRESHWATER WETLANDS ON OR WITHIN 150 FEET OF THE SUBJECT PROPERTY PER NJ GEOWEB MAPPING.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF DOVER AND OSHA SAFETY STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE.
- ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ANY DESIGN ADJUSTMENTS AS MAY BE REQUIRED DUE TO FIELD CONDITIONS.
- THE PROJECTED SANITARY SEWER FLOW FROM THE PROPOSED DEVELOPMENT, CALCULATED IN ACCORDANCE WITH NJAC 7:14A-23.3, IS AS FOLLOWS:
PROPOSED:
ONE-BEDROOM APARTMENT: 5 UNITS x 150 GALLONS PER DAY (GPD)/UNIT = 750 GPD
TWO-BEDROOM APARTMENT: 18 UNITS x 225 GPD/UNIT = 4,050 GPD
TOTAL = 750 GPD + 4,050 GPD = 4,800 GPD. A TREATMENT WORKS APPROVAL IS NOT REQUIRED FROM THE NJDEP.
- THE ANTICIPATED WATER USAGE FOR THE PROPOSED DEVELOPMENT, CALCULATED IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS AT NJAC 5:21-5.2, TABLE 5.1 AND NJAC 7:10-12.6 TABLE 1 AS FOLLOWS:
PROPOSED:
ONE-BEDROOM APARTMENT: 5 UNITS x 95 GALLONS PER DAY (GPD)/APARTMENT = 475 GPD
TWO-BEDROOM APARTMENT: 18 UNITS x 140 GPD/APARTMENT = 2,520 GPD
TOTAL = 475 GPD + 2,520 GPD = 2,995 GPD. A WATER EXTENSION PERMIT IS NOT REQUIRED FROM THE NJDEP.
- A STEEP SLOPE DISTURBANCE VARIANCE IS REQUIRED FOR DISTURBING 3,376 SF OF CRITICAL SLOPES WHERE NO DISTURBANCE IS ALLOWED PER TOWN OF DOVER ORDINANCE SECTION 236-21.2.B.(2)(a).
- A STEEP SLOPE BUILDING COVERAGE VARIANCE IS REQUIRED FOR 138.8% BUILDING COVERAGE WHERE A MAXIMUM OF 55% IS REQUIRED WHEN CALCULATING USING THE EFFECTIVE LOT AREA PER TOWN OF DOVER ORDINANCE SECTION 236-21.2.B.(1)(b).
- A STEEP SLOPE IMPERVIOUS COVERAGE VARIANCE IS REQUIRED FOR 173.1% IMPERVIOUS COVERAGE WHERE A MAXIMUM OF 75% IS REQUIRED WHEN CALCULATING USING THE EFFECTIVE LOT AREA PER TOWN OF DOVER ORDINANCE SECTION 236-21.2.B.(1)(b).
- A WALL HEIGHT VARIANCE IS REQUIRED FOR AN 11 FOOT TALL WALL WHEN A MAXIMUM OF 4 FEET IS REQUIRED PER TOWN OF DOVER ORDINANCE SECTION 236-33.E.

TOWN OF DOVER ZONING

ITEM	REQUIRED (RDP)	EXISTING	PROPOSED
MINIMUM LOT AREA	13,000 SF	13,141 SF (0.302 ACRES)	13,141 SF (0.302 ACRES)
MINIMUM FRONT YARD SETBACK (S. MORRIS)	25 FT	31.6 FT	25.5 FT
MINIMUM FRONT YARD SETBACK (MONMOUTH)	4.5 FT	18.2 FT	4.7 FT
MINIMUM SETBACK TO BLOCK 1804, LOT 12	10 FT	6.6 FT	10.1 FT
MINIMUM SETBACK TO BLOCK 1804, LOT 15	18 FT	91.2 FT	18 FT
MINIMUM WALL SETBACK (5 FT OR LESS)	0 FT	0 FT	4.3 FT
MINIMUM WALL SETBACK (> 5 FT)	5 FT	N/A	5.1 FT
MAXIMUM BUILDING COVERAGE	55%	15.0% (1,970 SF)	53.3% (7,006 SF) (2)
MAXIMUM IMPERVIOUS COVERAGE	75%	26.1% (3,435 SF)	66.5% (8,741 SF) (2)
MAXIMUM BUILDING HEIGHT	70 FEET	< 70 FT	64 FT (1)
MAXIMUM DWELLING DENSITY	23 UNITS	N/A	23 UNITS
MAXIMUM NUMBER OF BEDROOMS PER UNIT	N/A	N/A	2 BEDROOMS PER UNIT (3)
MINIMUM SF PER DWELLING UNIT	500 SF	N/A	> 500 SF (3)

- (1) AVERAGE GRADE CALCULATIONS:
AVERAGE GRADE ALONG FRONT OF BUILDING = (98.5+98.5+98.5)/3 = 98.5
FIRST FLOOR ELEVATION = 98.5
PEAK ROOF ELEVATION = 98.5 + 64 = 162.5 (PER ARCHITECTURAL PLANS)
BUILDING HEIGHT = 162.5 - 98.5 = 64 FT
(2) SEE SHEET #7 FOR VARIANCES WHEN CALCULATING EFFECTIVE LOT AREA DUE TO STEEP SLOPES
(3) SEE ARCHITECTURAL PLANS

COVERAGE CALCULATIONS			
EXISTING CONDITIONS		PROPOSED CONDITIONS	
DWELLING*	1,836 SF	BUILDING*	6,093 SF
PORCH*	65 SF	COVERED WALKS*	913 SF
CANOPY*	41 SF	WALKS/STEPS	323 SF
CELLAR*	28 SF	PAVEMENT	877 SF
CONCRETE/STEPS	1,089 SF	DUMPSTER	50 SF
SLATE	73 SF	WALLS	485 SF
WALLS	303 SF	TOTAL	8,741 SF
TOTAL	3,435 SF		

*DENOTES BUILDING COVERAGE

COVER SHEET

PRELIMINARY & FINAL SITE PLAN

BLOCK 1804, LOT 13
SOUTH MORRIS STREET & MONMOUTH AVENUE
TOWN OF DOVER
MORRIS COUNTY NEW JERSEY

DW

SCALE: 1" = 100'

JOB NO.: 24195

DRAWN BY: JY

CHECKED BY: MGW

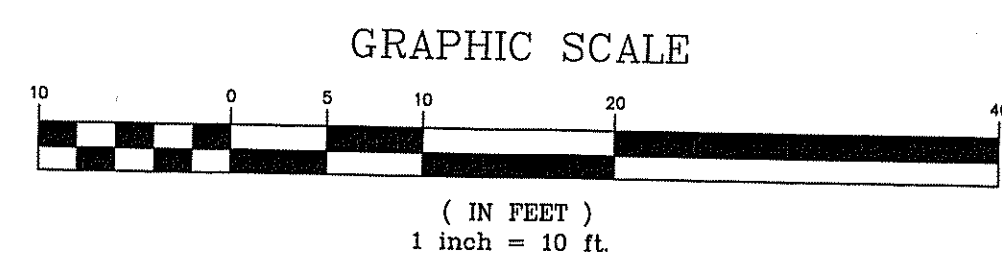
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SHEET NO. 1 of 8

DYKSTRA WALKER
DESIGN BY GROUP

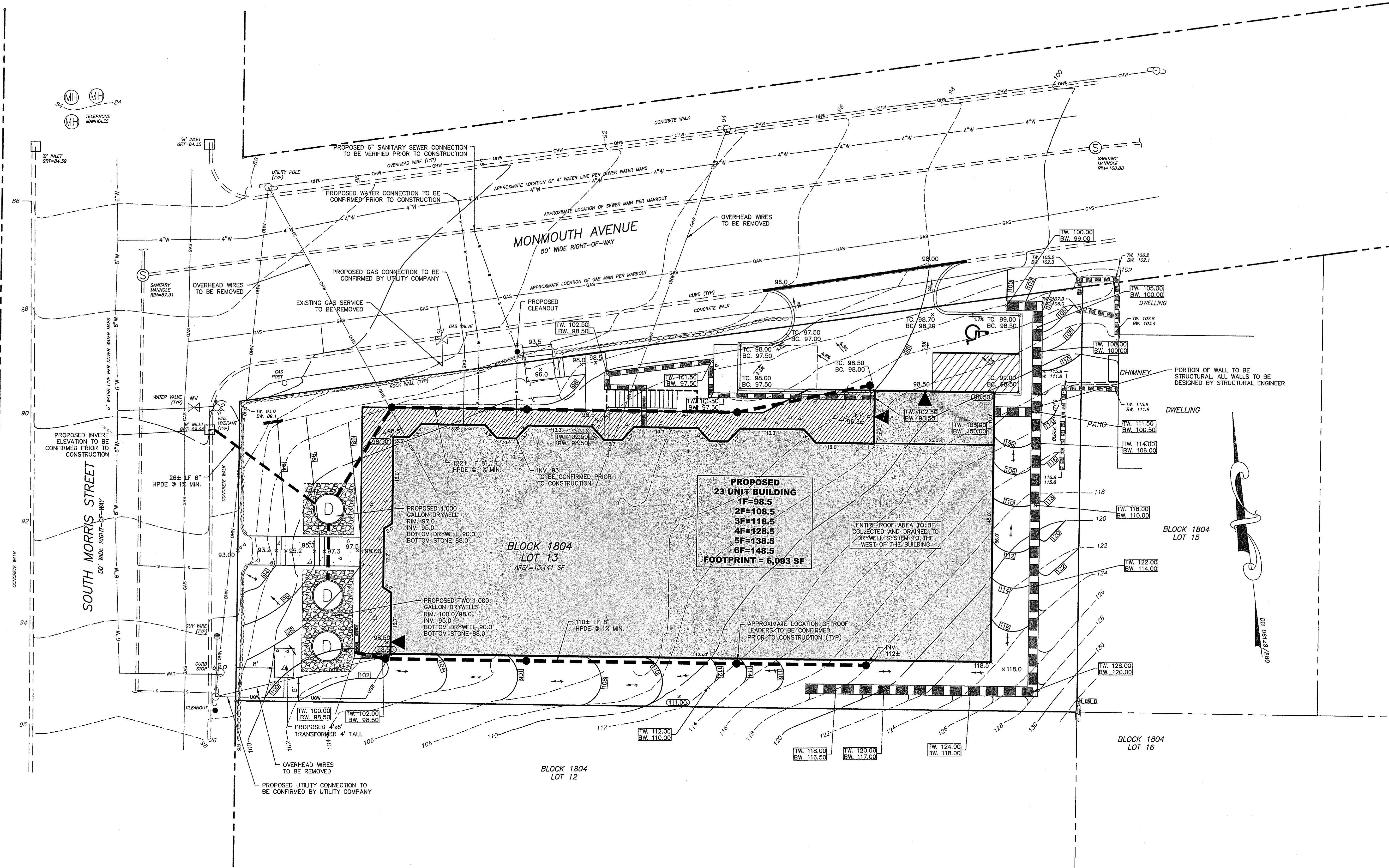
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
PHONE (973) 661-5547 - FAX (973) 665-0042
WWW.DYKSTRA-WALKER.COM

MARC S. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

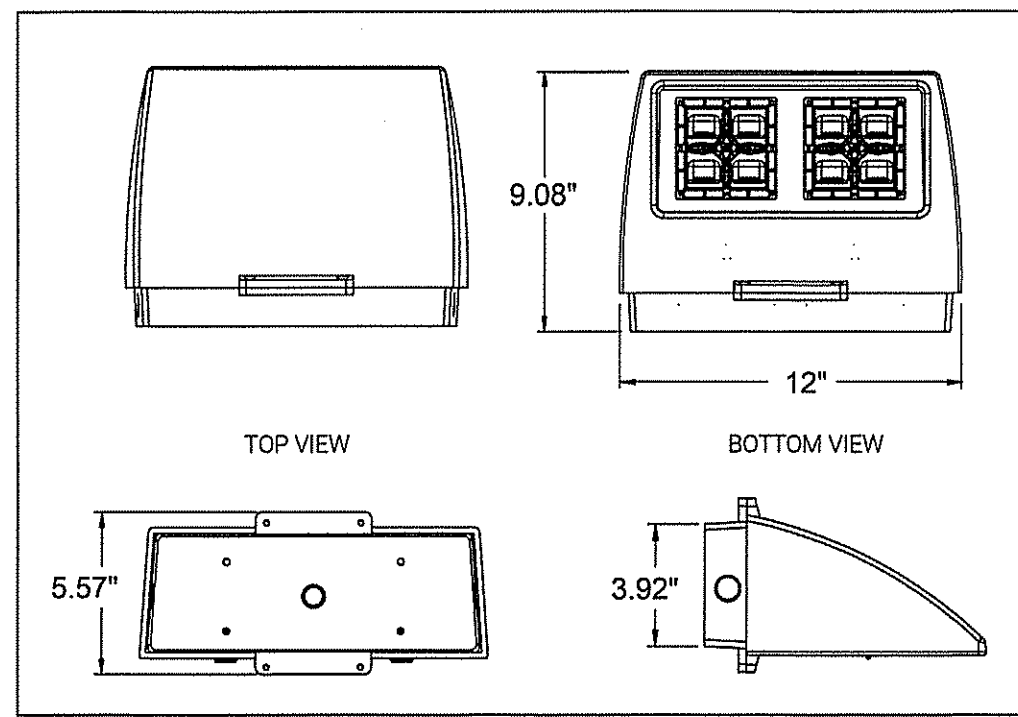


		DYKSTRA WALKER DESIGN  GROUP P.A. PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY SUITE 204 - LAYTONHOPATCONG, NJ 07849 PHONE (973) 663-5540 - FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM	SITE LAYOUT PLAN		DW
			PRELIMINARY & FINAL SITE PLAN		
		 MARC G. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900	BLOCK 1804, LOT 13 SOUTH MORRIS STREET & MONMOUTH AVENUE TOWN OF DOVER MORRIS COUNTY NEW JERSEY		SCALE: 1" = 10'
			JOB NO.: 24195		
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DATE	REVISION				DATE: 4/14/26
					SHEET NO. 2 of 8

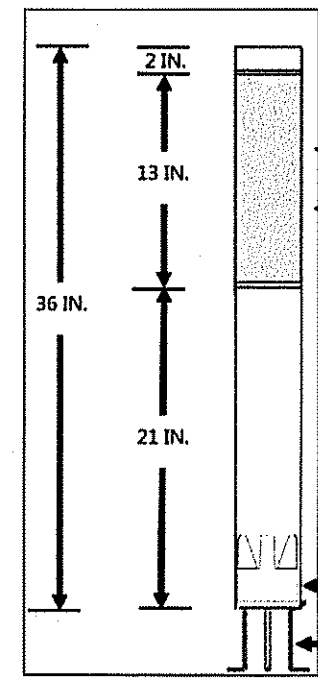
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		DYKSTRA WALKER DESIGN  GROUP PA PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204, LAKE HOPATCONG, NJ 07849 PHONE (973) 461-5540 FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM  MARC G. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900	GRADING & UTILITY PLAN		
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			BLOCK 1804, LOT 13 SOUTH MORRIS STREET & MONMOUTH AVENUE TOWN OF DOVER MORRIS COUNTY NEW JERSEY		JOB NO.: 24195
					DRAWN BY: JY
					CHECKED BY: MGW
DATE	REVISION			DATE: 4/14/26	SHEET NO. 3 OF 8



BUILDING MOUNTED LIGHT DETAIL
NTS



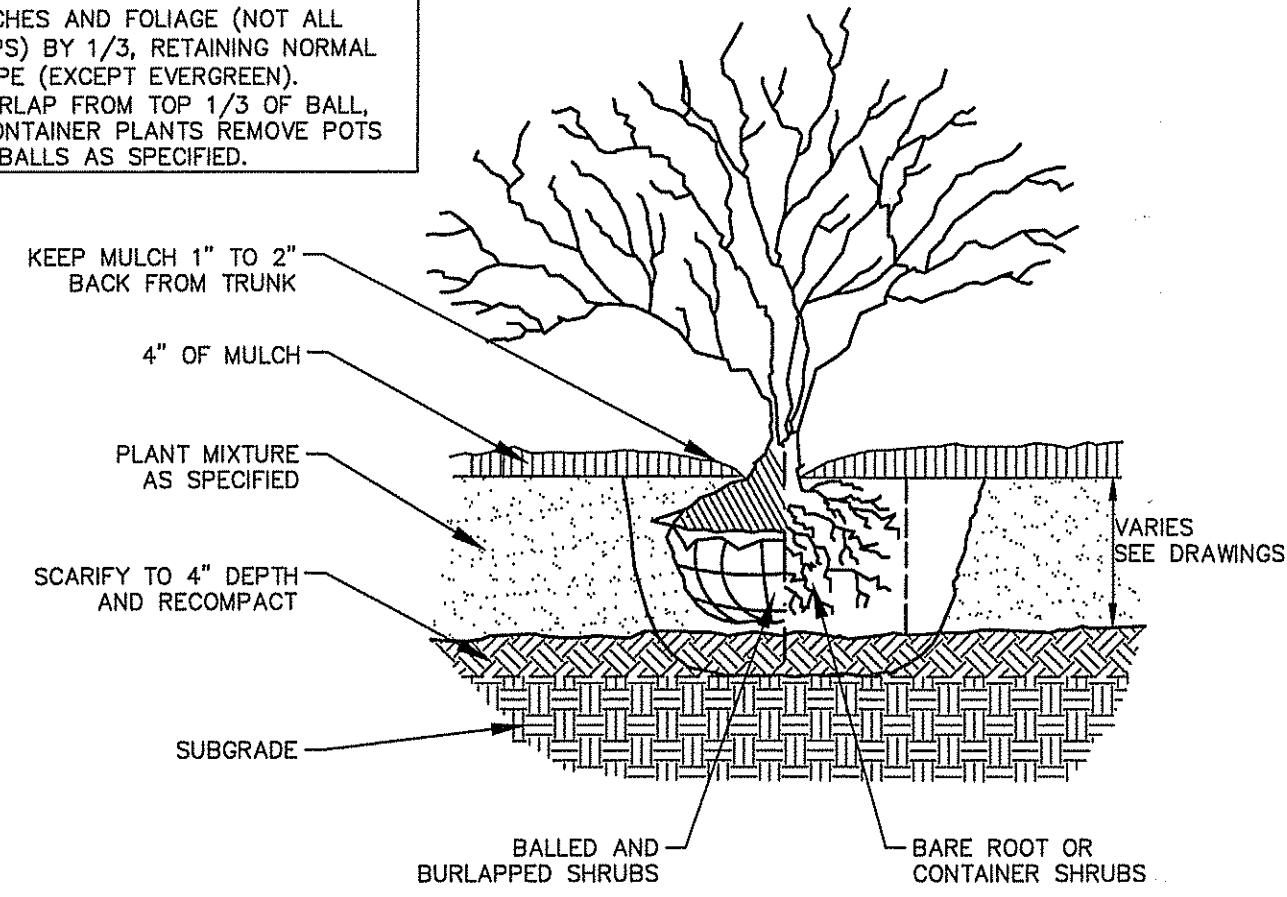
BOLLARD LIGHT DETAIL
NTS

Label	Qty	Height	Arrangement	MOUNTING TYPE	LUMENS	Description
A	1	10'	SINGLE	BUILDING MOUNTED	11,000	NLS LIGHTING NV-W-R2-16L-1-30K-UNV
B	3	3'	SINGLE	BOLLARD	2,860	NLS LIGHTING LR-X-SYM-XX-22-30K

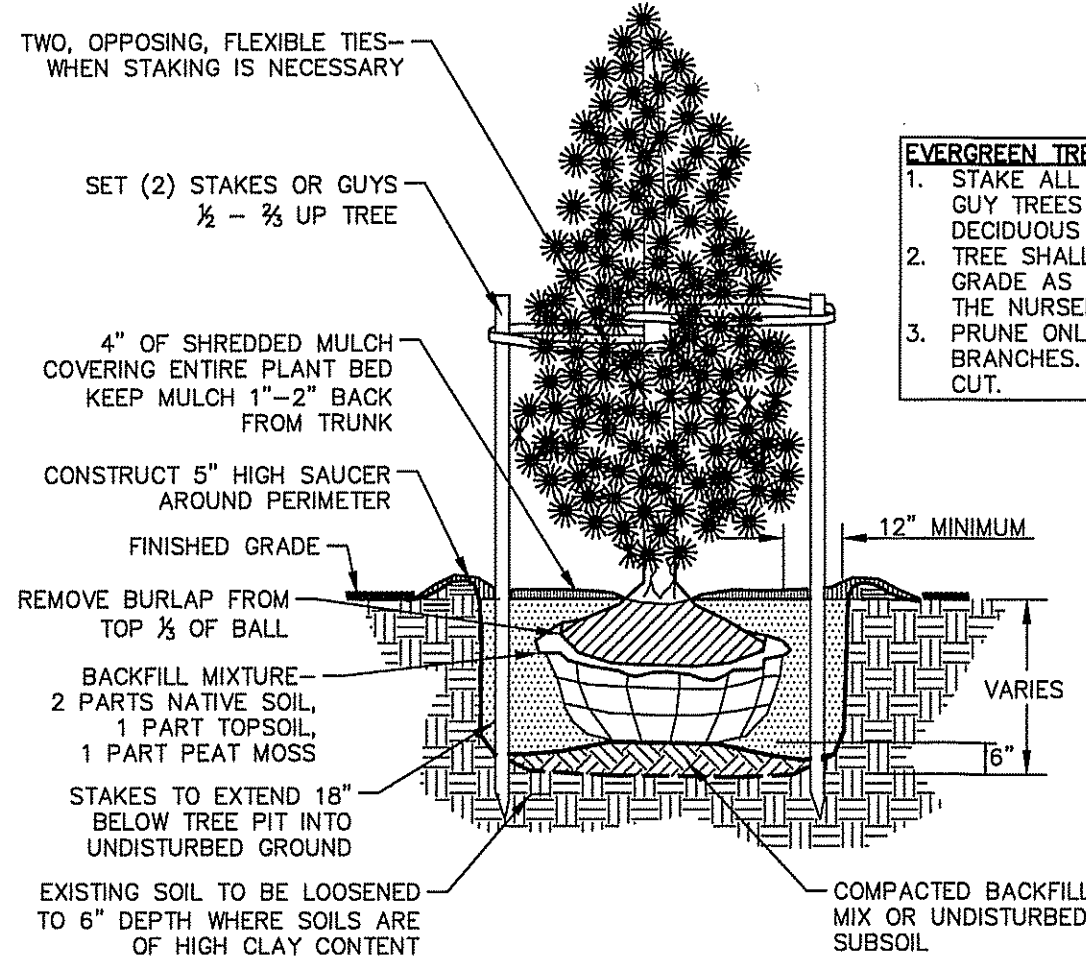
LANDSCAPE SCHEDULE

SHRUBS						
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	MATURE SIZE	ROOT	SPACING NO.
● RRB	Rhododendron 'Rose Bud'	Rose Bud Azalea	2 Gal.	2' - 3'	#2 can	as shown 23
● CA	Calamagrostis x acutiflora	Feather Reed Grass	2'	36" - 60"	#2 can	as shown 18
● JHW	Juniperus horizontalis Wiltani	Blue Rug Junipers	2 Gal.	15" - 18"	#2 can	as shown 11
TREES						
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	MATURE SIZE	ROOT	SPACING NO.
● PA	Picea abies	Norway Spruce	8'	60' - 80'	B&B	as shown 3
● TO	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	6'	10' - 15'	B&B	as shown 4

- SHRUB PLANTING NOTES:**
- DO NOT PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.
 - THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).
 - REMOVE BURLAP FROM TOP 1/3 OF BALL, OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS AS SPECIFIED.

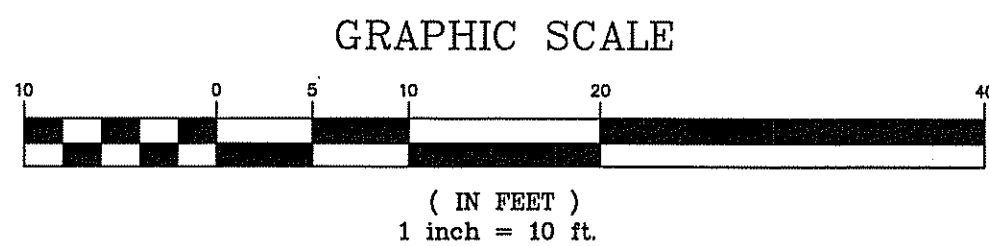
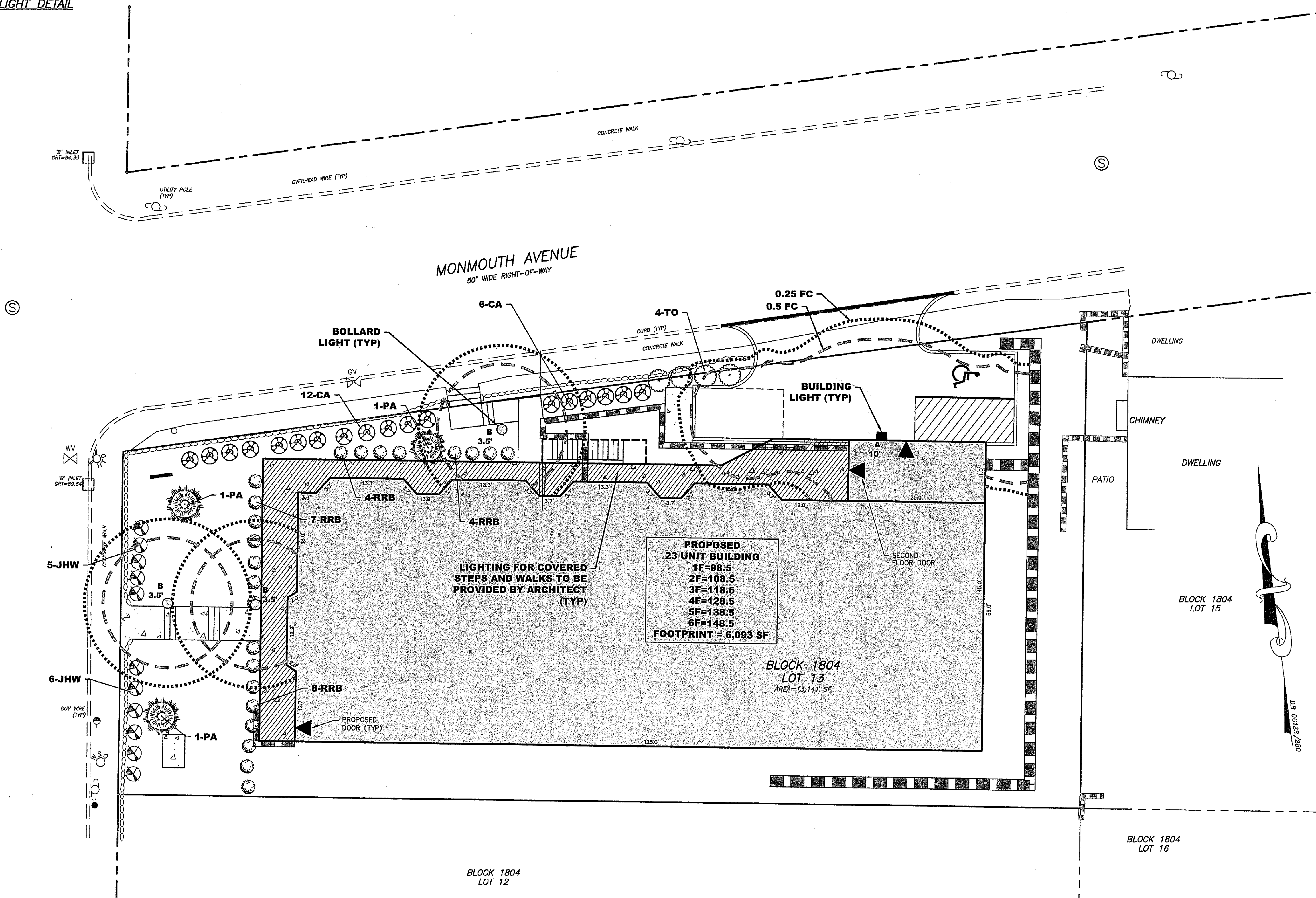


SHRUB PLANTING DETAIL
NOT TO SCALE



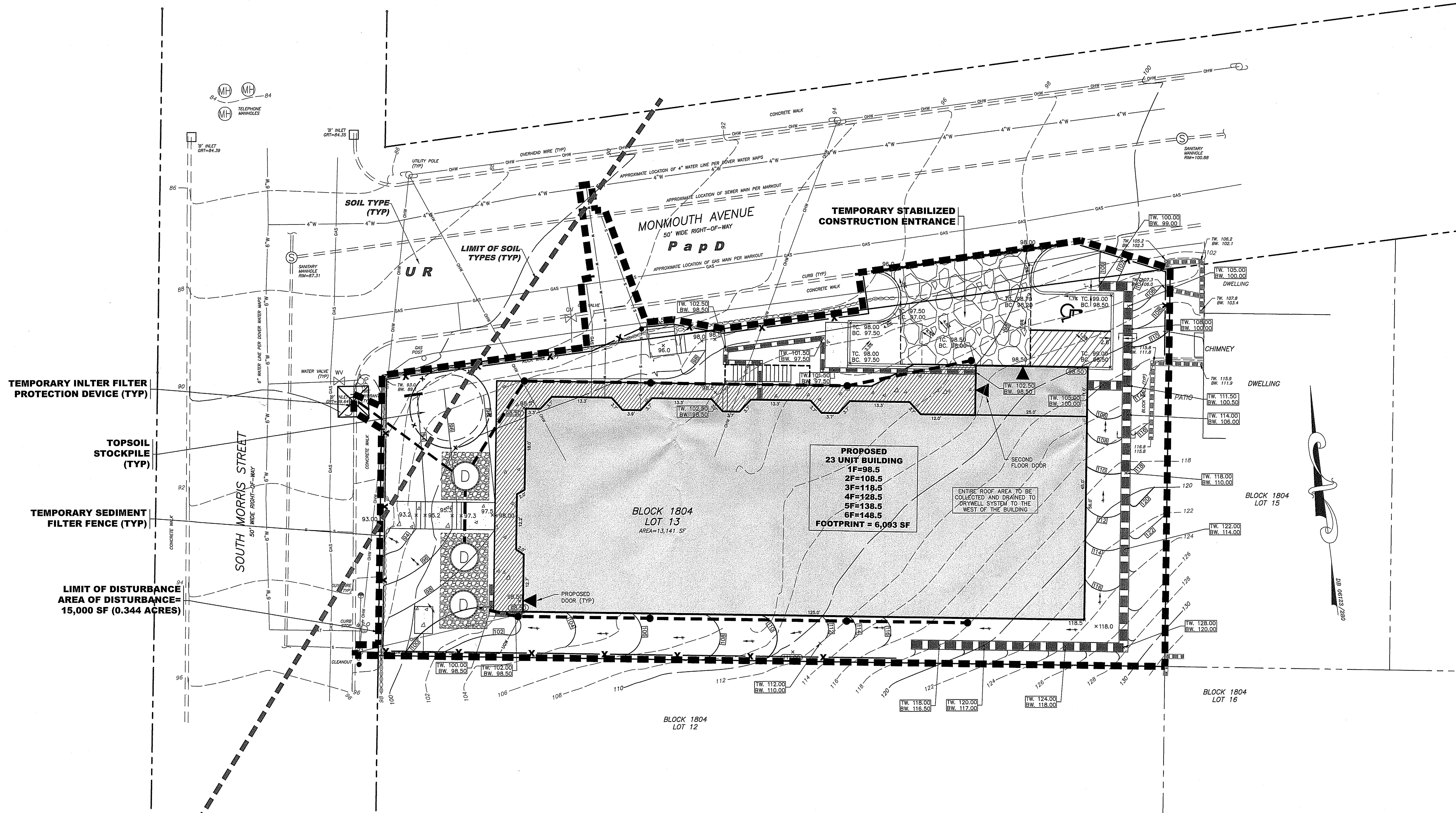
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- EVERGREEN TREE PLANTING NOTES:**
- STAKE ALL EVERGREEN TREES UNDER 8 FT. GUY TREES 8 FT. AND OVER AS SPECIFIED FOR DECIDUOUS TREES.
 - TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY.
 - PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES. LEADER OF TREE SHALL NEVER BE CUT.



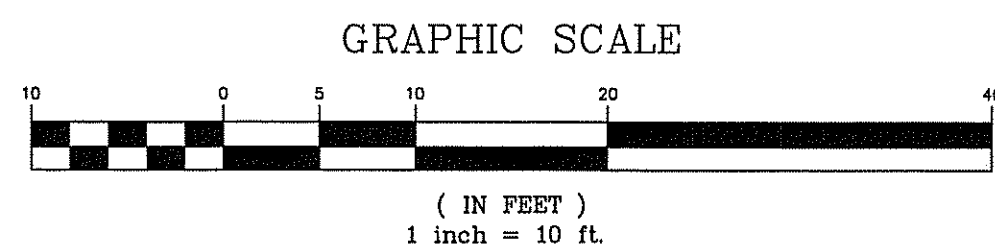
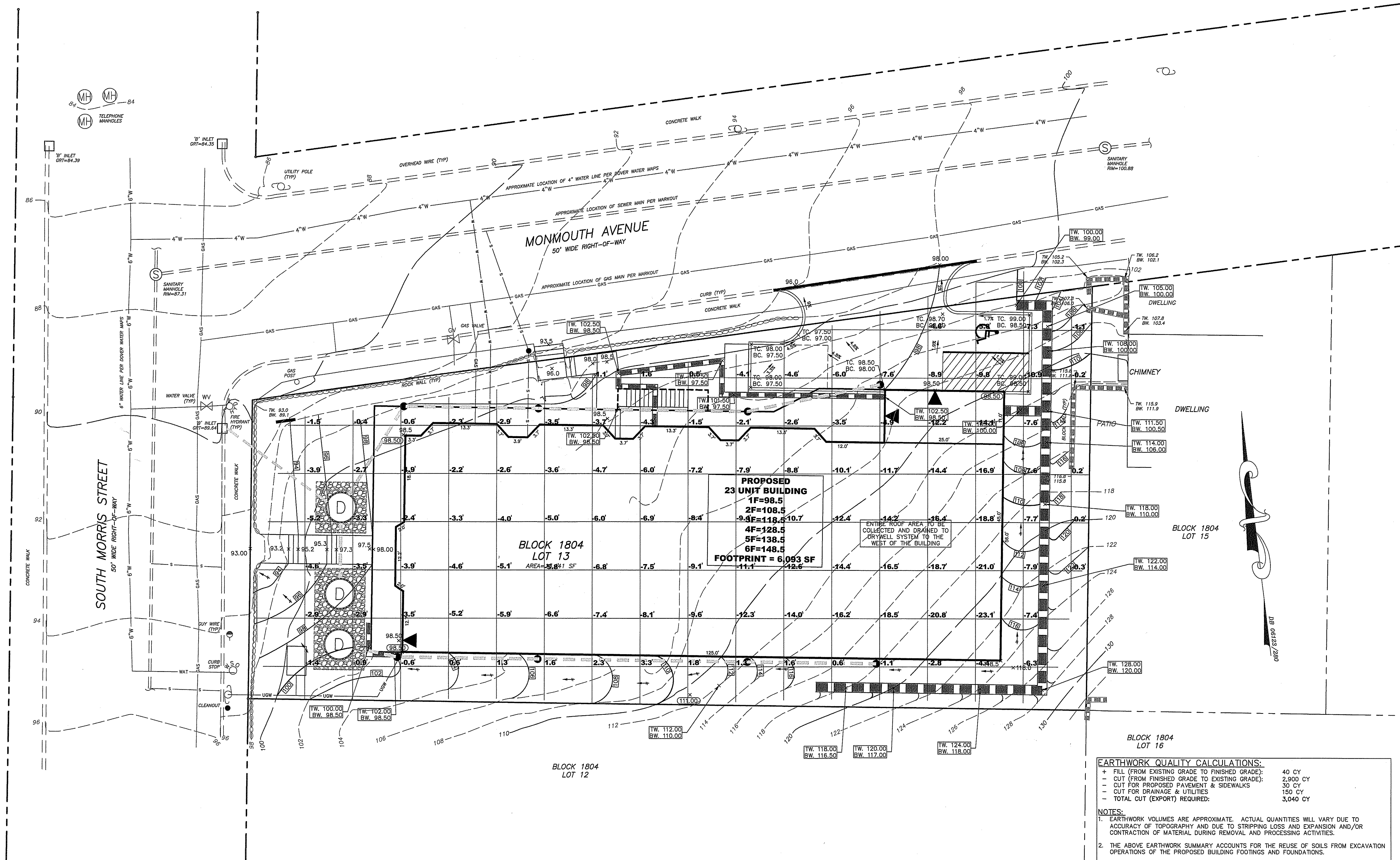
DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-5540 FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM MARC S. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900		LIGHTING & LANDSCAPING PLAN		DW SCALE: 1" = 10' JOB NO.: 24195 DRAWN BY: JY CHECKED BY: MGW DATE: 4/14/26 SHEET NO. 4 OF 8
		PRELIMINARY & FINAL SITE PLAN		
		BLOCK 1804, LOT 13		
		SOUTH MORRIS STREET & MONMOUTH AVENUE		
TOWN OF DOVER		MORRIS COUNTY		NEW JERSEY

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		DYKSTRA WALKER DESIGN & GROUP PA PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 FAX (973) 663-0042 WWW.DYKSTRA-WALKER.COM	SOIL EROSION & SEDIMENT CONTROL PLAN		DW
			PRELIMINARY & FINAL SITE PLAN		SCALE: 1" = 10'
			BLOCK 1804, LOT 13 SOUTH MORRIS STREET & MONMOUTH AVENUE TOWN OF DOVER MORRIS COUNTY NEW JERSEY		JOB NO.: 24195
					DRAWN BY: JY
					CHECKED BY: MSW
DATE	REVISION	MARC G. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900			DATE: 4/14/26
					SHEET NO. 5 of 8

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EARTHWORK QUALITY CALCULATIONS:	
+ FILL (FROM EXISTING GRADE TO FINISHED GRADE):	40 CY
- CUT (FROM FINISHED GRADE TO EXISTING GRADE):	2,900 CY
- CUT FOR PROPOSED PAVEMENT & SIDEWALKS:	30 CY
- CUT FOR DRAINAGE & UTILITIES:	150 CY
- TOTAL CUT (EXPORT) REQUIRED:	3,040 CY

NOTES:

- EARTHWORK VOLUMES ARE APPROXIMATE. ACTUAL QUANTITIES WILL VARY DUE TO ACCURACY OF TOPOGRAPHY AND DUE TO STRIPPING LOSS AND EXPANSION AND/OR CONTRACTION OF MATERIAL DURING REMOVAL AND PROCESSING ACTIVITIES.
- THE ABOVE EARTHWORK SUMMARY ACCOUNTS FOR THE REUSE OF SOILS FROM EXCAVATION OPERATIONS OF THE PROPOSED BUILDING FOOTINGS AND FOUNDATIONS.

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STEEP SLOPE AREA SUMMARY TABLE
(PER SECTION 236-21.2 OF THE TOWN OF DOVER ORDINANCE)

COLOR	RANGE BEGINNING	RANGE ENDING	AREA OF SLOPE RANGE WITHIN LOT	PERCENTAGE OF LOT	PROPOSED AREA OF DISTURBANCE	ALLOWABLE DISTURBANCE (%)
	0.00	15.00	4,163 SF, 0.096 ACRES	31.7%		N/A
	15.00	25.00	1,772 SF, 0.041 ACRES	13.5%		N/A
	25.00	>25.00	7,206 SF, 0.165 ACRES	54.8%	3,376 SF, 0.078 ACRES(1)(2)	0 SF
	TOTAL		13,141 SF, 0.302 ACRES	100.0%		

(1) VARIANCE REQUIRED
(2) THERE SHALL BE NO SITE DISTURBANCE, NO STRUCTURES, NO IMPERVIOUS COVERAGE PERMITTED WITHIN CRITICAL SLOPE AREA. EXCLUDED FROM THIS LIMITATION ARE UTILITY IMPROVEMENTS, BOTH PUBLIC AND PRIVATELY CONTROLLED, SUCH AS ELECTRIC, TELEPHONE, CABLE LINES, POTABLE WATER, SANITARY AND STORM SEWER LINES, DRIVEWAYS, UTILITIES AND ROADS, BOTH PUBLIC AND PRIVATE.
(3) MODERATE SLOPE AREAS 15% - 25%. CRITICAL SLOPE AREAS >25%

STEEP SLOPE DISTURBANCE SUMMARY:

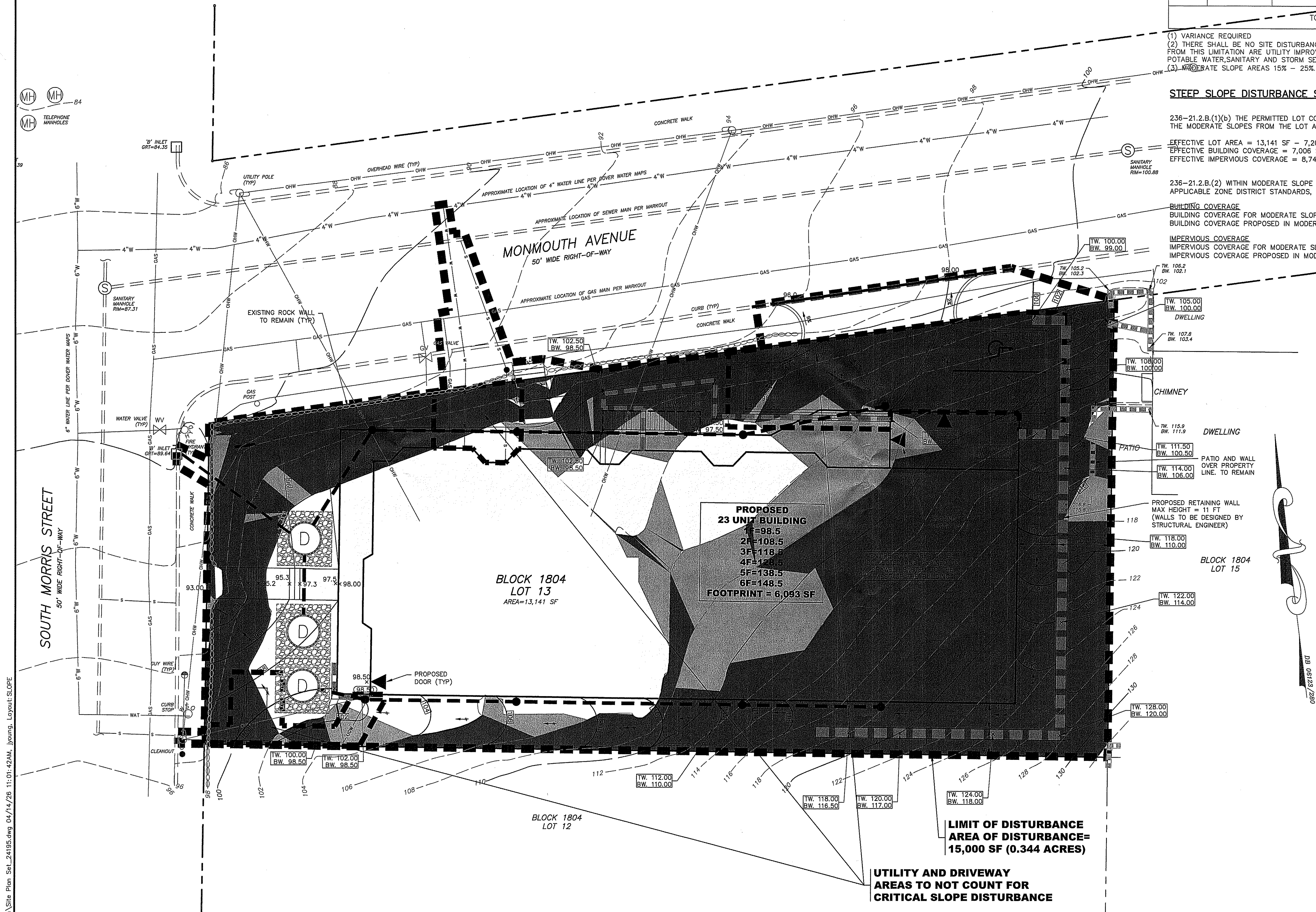
236-21.2.B(1)(b) THE PERMITTED LOT COVERAGE AND BUILDING COVERAGE OF ANY SITE SHALL BE CALCULATED BY EXCLUDING ALL CRITICAL SLOPES AND 50% OF THE MODERATE SLOPES FROM THE LOT AREA.

EFFECTIVE LOT AREA = 13,141 SF - 7,206 SF - $\frac{1}{2} \times 1,772$ SF = 5,049 SF
EFFECTIVE BUILDING COVERAGE = 7,006 SF / 5,049 SF = 138.8%, 55% MAXIMUM PERMITTED [VARIANCE]
EFFECTIVE IMPERVIOUS COVERAGE = 8,741 SF / 5,049 SF = 173.1%, 75% MAXIMUM PERMITTED [VARIANCE]

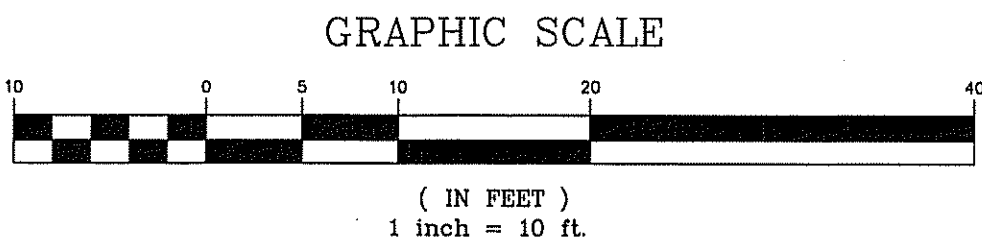
236-21.2.B(2) WITHIN MODERATE SLOPE AREAS, NO MORE THAN 50% OF THE RATE OF COVERAGE FOR EACH DEVELOPABLE LOT(S), PURSUANT TO THE APPLICABLE ZONE DISTRICT STANDARDS, MAY BE UTILIZED FOR BUILDING AND/OR LOT COVERAGE.

BUILDING COVERAGE
BUILDING COVERAGE FOR MODERATE SLOPES = 55% / 2 = 27.5%
BUILDING COVERAGE PROPOSED IN MODERATE SLOPE AREAS = 1,325 SF / 5,049 SF = 26.2% [CONFORMS]

IMPERVIOUS COVERAGE
IMPERVIOUS COVERAGE FOR MODERATE SLOPES = 75% / 2 = 37.5%
IMPERVIOUS COVERAGE PROPOSED IN MODERATE SLOPE AREAS = 1,442 SF / 5,049 SF = 28.6% [CONFORMS]



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UTILITY AND DRIVEWAY
AREAS TO NOT COUNT FOR
CRITICAL SLOPE DISTURBANCE

LIMIT OF DISTURBANCE
AREA OF DISTURBANCE=
15,000 SF (0.344 ACRES)

DATE	REVISION

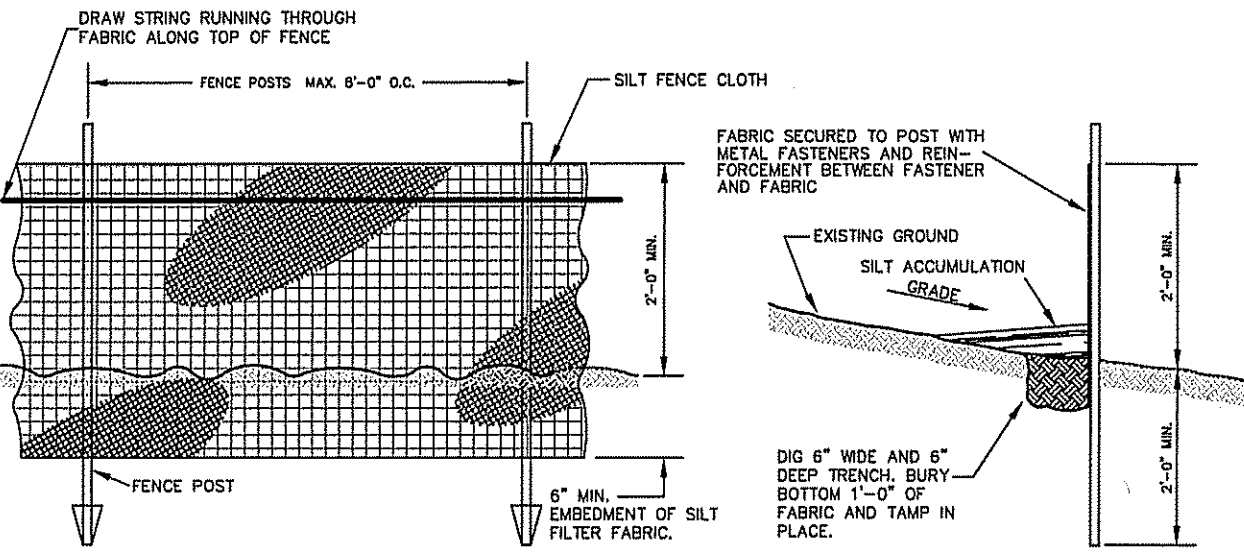
DYKSTRA WALKER
DESIGN W GROUP
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204, LAKE HOPATCONG, NJ 07849
PHONE (973) 663-6540 FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

STEEP SLOPE ANALYSIS PLAN	
PRELIMINARY & FINAL SITE PLAN	SCALE: 1" = 10'
BLOCK 1804, LOT 13	JOB NO.: 24195
SOUTH MORRIS STREET & MONMOUTH AVENUE	DRAWN BY: JY
TOWN OF DOVER	CHECKED BY: MGW
MORRIS COUNTY NEW JERSEY	DATE: 4/14/26
	SHEET NO. 7 of 8

MORRIS COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES:

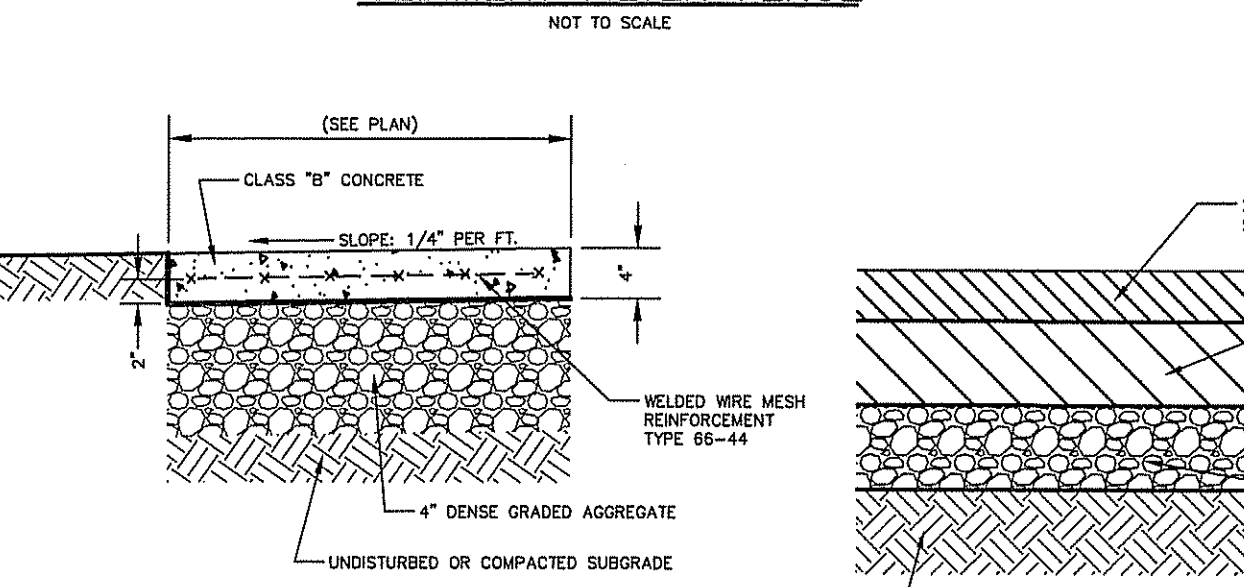
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) SHALL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DOWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DOWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY SOIL. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL REMAIN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.



REQUIREMENTS FOR SILT FENCE

- NOTES:
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXCEED AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2".
 - A METAL FENCE WITH 6" OR SMALLER OPENINGS AND AT LEAST 2' HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE SEDIMENTABLE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
 - A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6" DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2' ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR EASY REMOVAL.

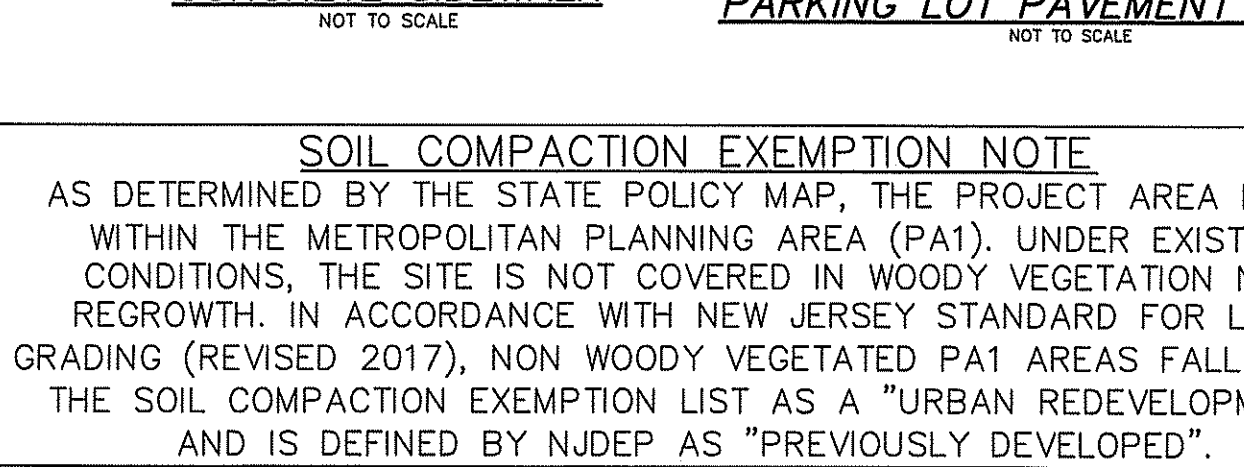
SEDIMENT FILTER FENCE



- NOTES:
- CURB AND SIDEWALK CONCRETE TO BE N.J.D.O.T. CLASS "B" AIR-ENTRAINED.
 - PROVIDE PRECASTED BITUMINOUS FIBER EXPANSION JOINTS.
 - 2" THICK AT 16'-0" MAX INTERVALS. PROVIDE DRAIN JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.

CONCRETE SIDEWALK

PARKING LOT PAVEMENT SECTION

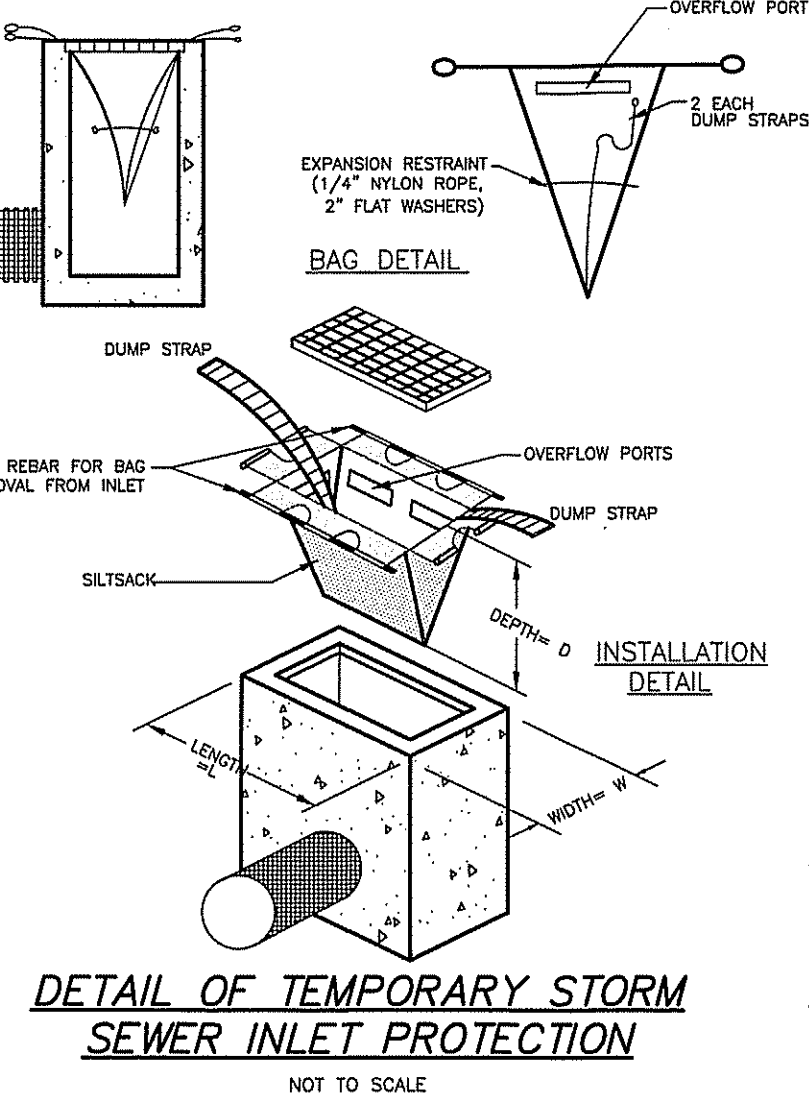


SOIL COMPACTION EXEMPTION NOTE

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

TYPICAL WATER SERVICE CONNECTION DETAIL

NOTE: CURB STOP TO BE LOCATED 8' FROM PROPERTY LINE ON 50' R.O.W., OR AS DIRECTED



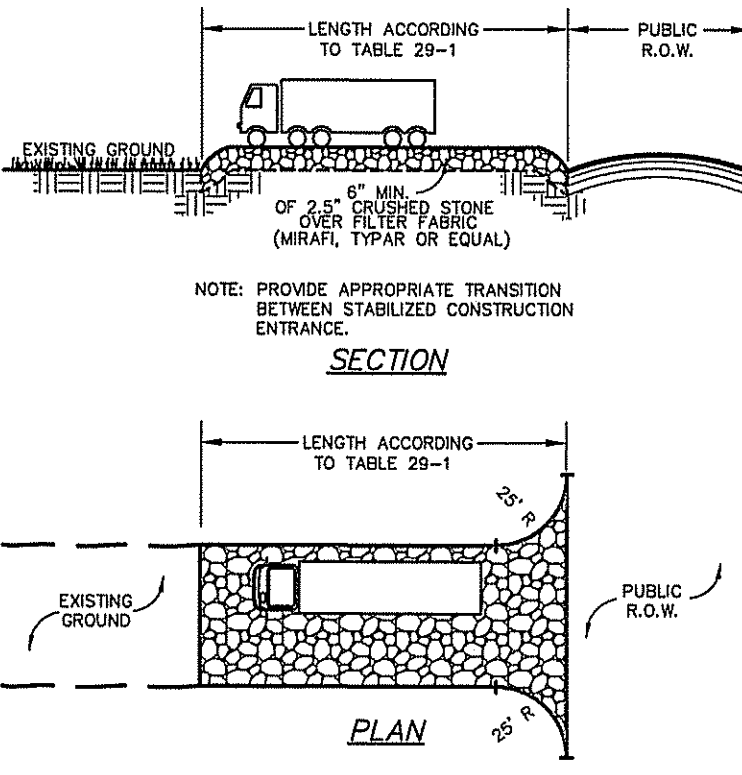
DETAIL OF TEMPORARY STORM SEWER INLET PROTECTION

NOT TO SCALE

TABLE 28-1

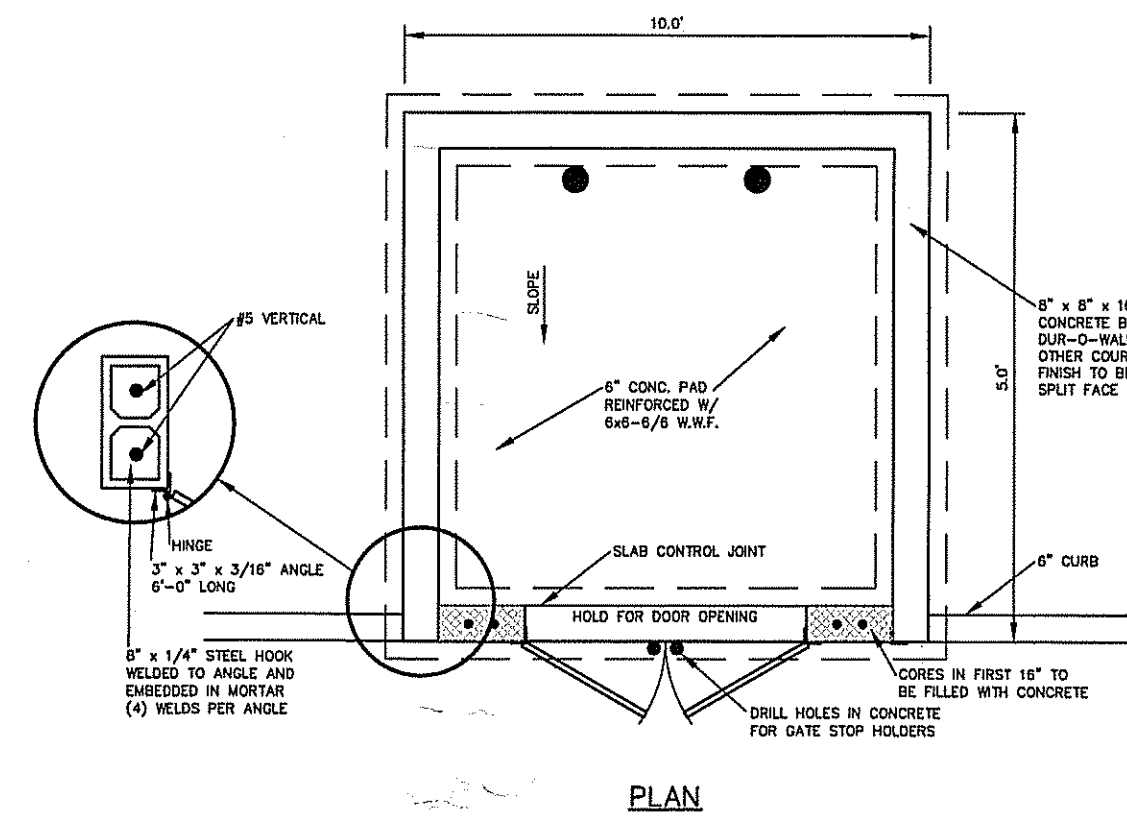
PERCENTAGE SLOPE OF ROADWAY	LENGTH REQUIRED
COARSE GRAINED SOILS	100 FT
0-2%	100 FT
2-5%	200 FT
> 5%	200 FT

ENTIRE SURFACE STABILIZED WITH F.A.B.C. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER COVERING BODY.



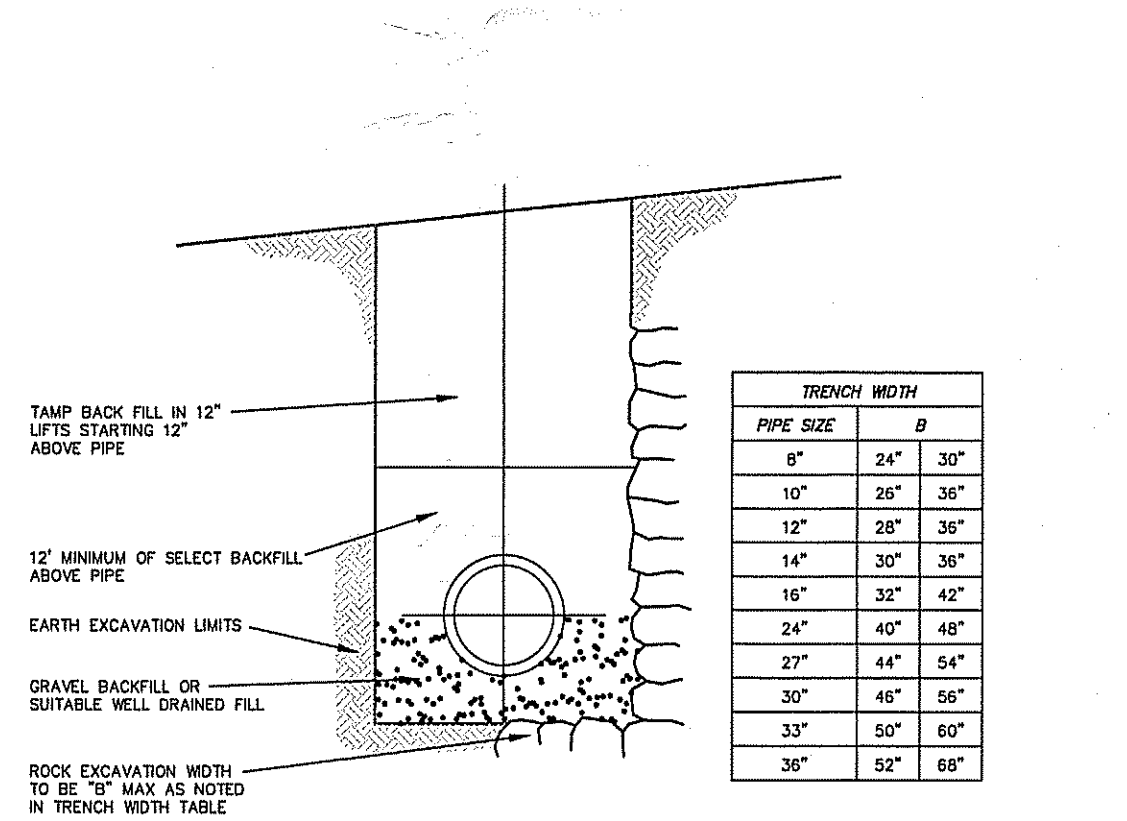
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



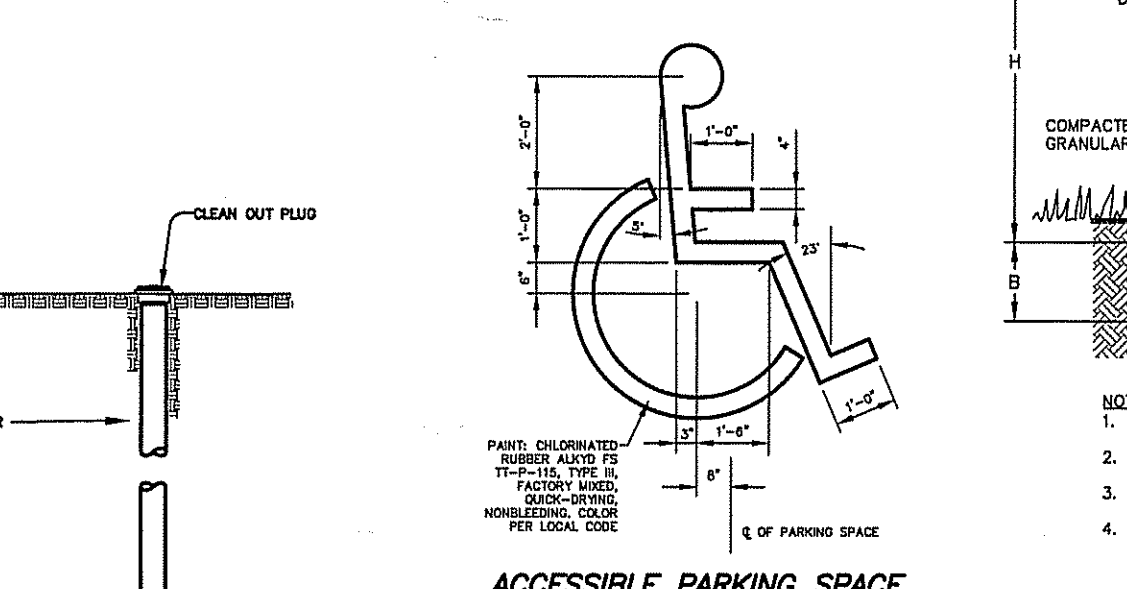
TRASH DUMPSTER/RECYCLABLE COLLECTION AREA

N.T.S.



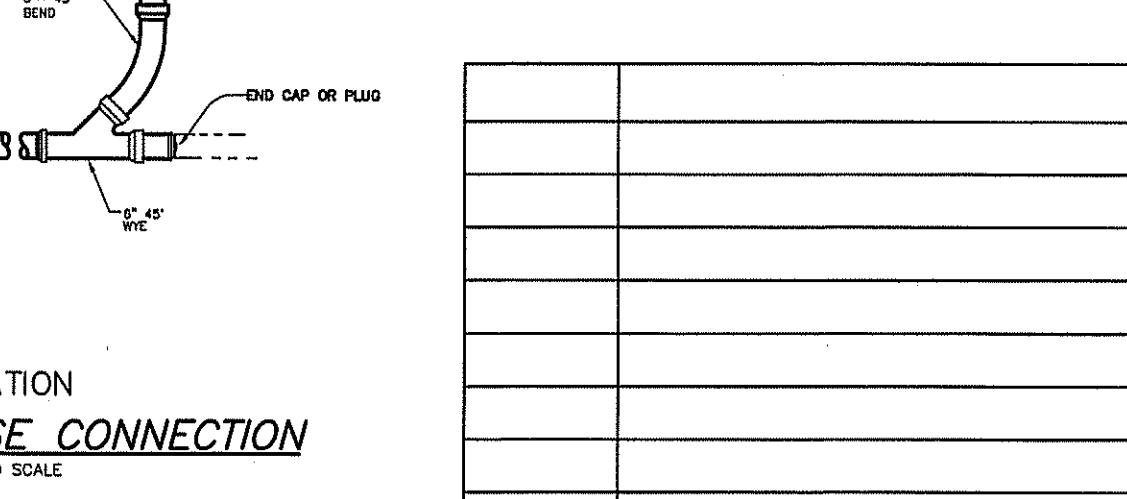
TRENCH DETAIL - STORM SEWER

N.T.S.



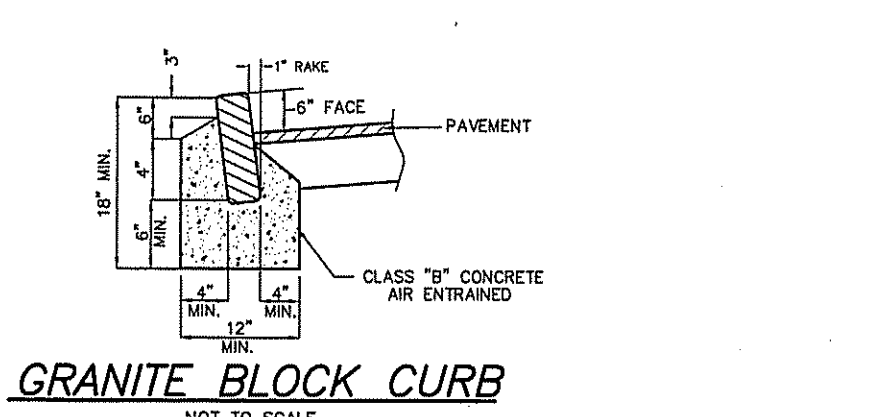
ACCESSIBLE PARKING SPACE

N.T.S.



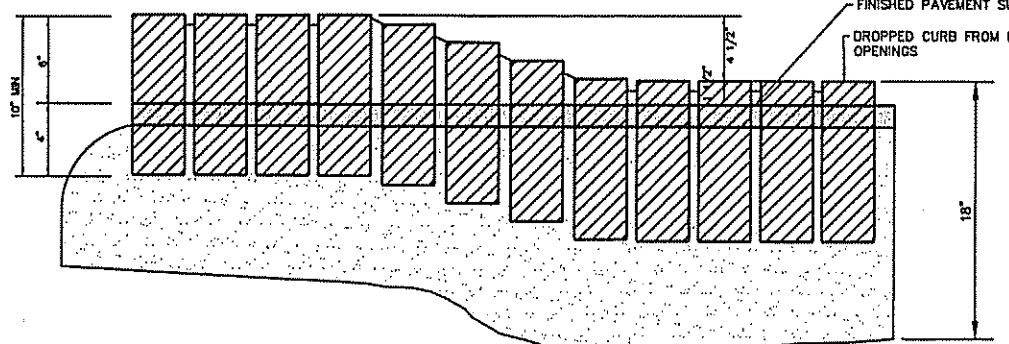
ELEVATION

NOT TO SCALE



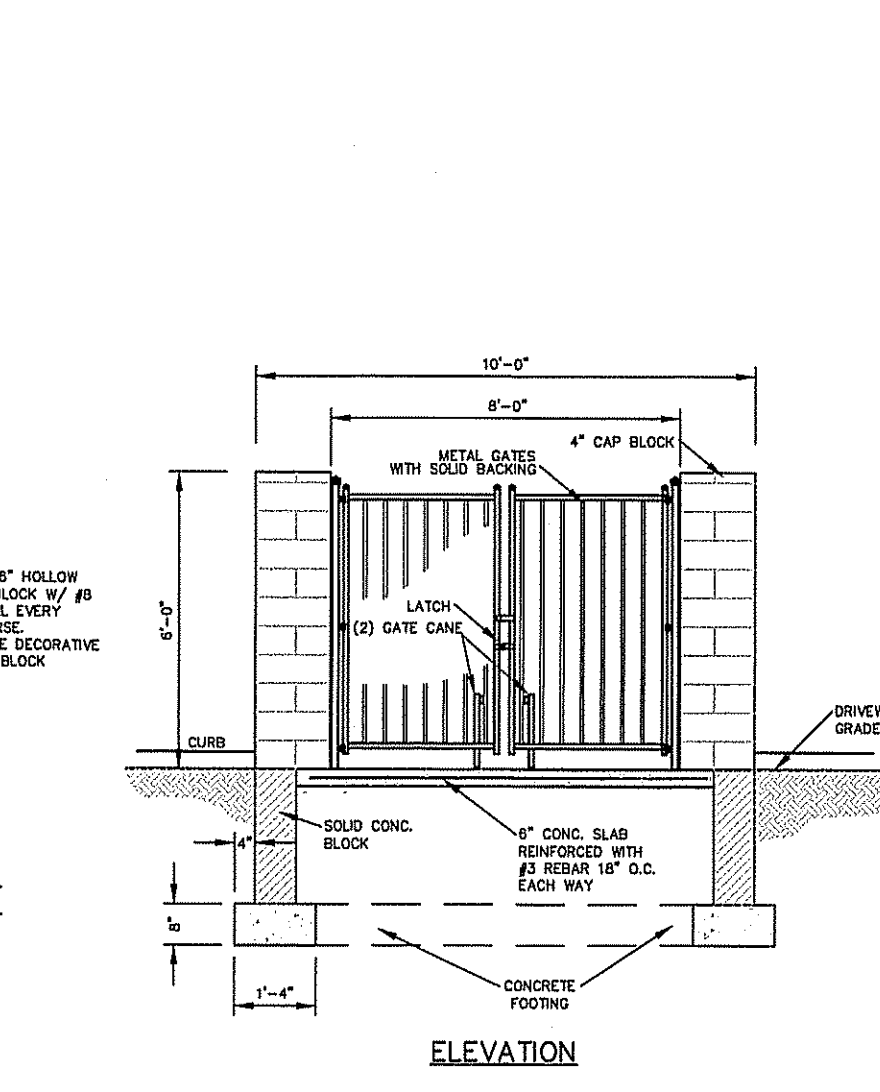
GRANITE BLOCK CURB

NOT TO SCALE



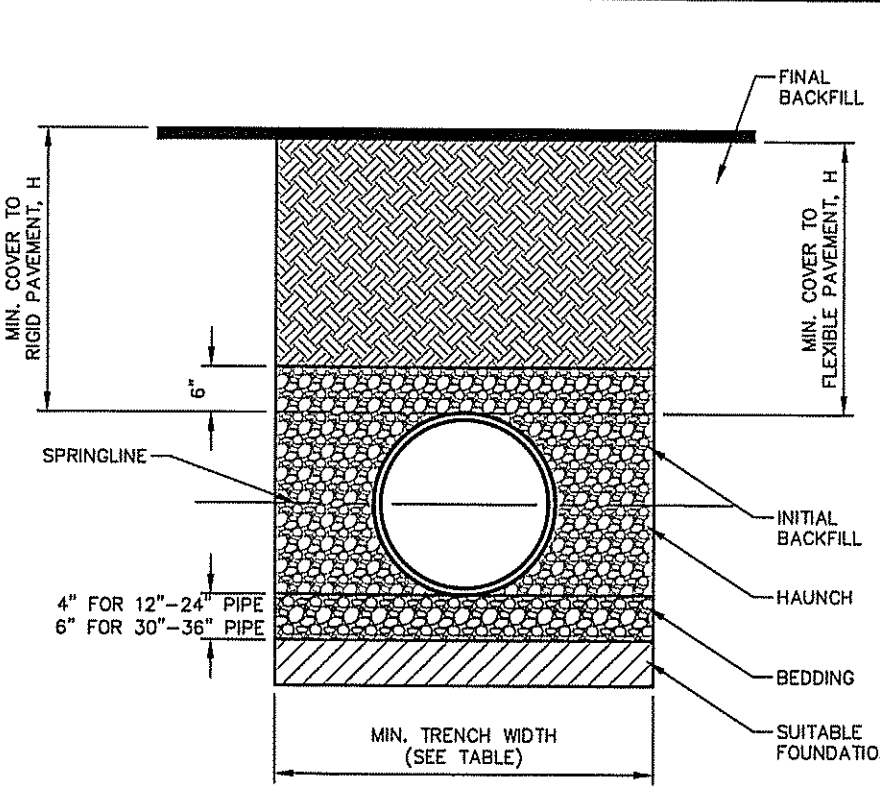
GRANITE BLOCK DEPRESSED CURB

NOT TO SCALE



ELEVATION

N.T.S.



NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- EQUATIONS WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE DESIGNER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE DESIGNER. THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24", 6" FOR 30"-60".
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GRASS SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOODING FOR TRAFFIC APPLICATIONS. MINIMUM COVER, H, IS 12" TO 48" DIAMETER PIPE AND 24" TO 60" COVER FOR 54"-60" DIAMETER PIPE MEASURED FROM TOP OF PIPE TO BOTTOM OF PAVEMENT OR TO TOP OF ROAD PAVEMENT.
- ALL TRENCH EXCAVATION SHALL MEET OSHA TRENCHING REQUIREMENTS.

HDPE PIPE BEDDING DETAIL

NOT TO SCALE

DRYWELL SIZING CALCULATIONS:

VOLUME OF PROPOSED DRYWELL:

VOLUME OF DRYWELL INTERIOR (V_i) = $\pi \times 3.00 \text{ FT}^2 \times 6 \text{ FT} = 170 \text{ CF}$
VOLUME OF DRYWELL EXTERIOR (V_e) = $\pi \times 3.25 \text{ FT}^2 \times 6 \text{ FT} = 199 \text{ CF}$
VOLUME OF STONE VOIDS (V_v) = $[(10.5 \text{ FT} \times 10.5 \text{ FT} (8 \text{ FT}) - 199 \text{ CF})] (0.40) = 274 \text{ CF}$

STORAGE VOLUME PER DRYWELL = $170 \text{ CF} + 274 \text{ CF} = 444 \text{ CF}$

INCREASE IN IMPERVIOUS COVERAGE = $8,741 \text{ SF} - 3,435 \text{ SF} = 5,306 \text{ SF}$

ROOF AREA TO BE INFILTRATED = $7,006 \text{ SF} > 5,306 \text{ [OK]}$

ESTIMATED RAINFALL DEPTH TO BE INFILTRATED = 3.00 INCHES

VOLUME OF RUNOFF = $5,306 \text{ SF} \times 3.00 \text{ INCHES} \times (\frac{1 \text{ FT}}{12 \text{ IN}}) = 1,327 \text{ CF}$

NUMBER OF DRYWELLS REQUIRED FOR FRONT ROOF AREA = $1,327 \text{ CF} / 444 \text{ CF} = 3.0 \sim 3 \text{ DRYWELLS}$

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