

PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN

BLOCK 407, LOTS 1 & 20

#180 ANN STREET

TOWN OF DOVER

MORRIS COUNTY NEW JERSEY

LIST OF PROPERTY OWNERS WITHIN 200'

LIST AS PREPARED BY TOWN OF DOVER TAX ASSESSOR, DATED APRIL 30, 2026

BLOCK 407, LOT 20
THE NICHOLAS PARTNERSHIP
7 CHELSEA DR
RANDOLPH, NJ 07869

BLOCK 405, LOT 3
ELSASSER, ROY H / / BETH A TRUS
20 CLAREDON TER
DOVER, NJ 07801

BLOCK 405, LOT 4.01
VEGA, CHRISTIAN
15 JAMES CT
ROCKAWAY, NJ 07866

BLOCK 405, LOT 4.03
VEGA, CHRISTIAN
15 JAMES CT
ROCKAWAY, NJ 07866

BLOCK 405, LOT 6
SPILLMAN RONALD & BETTY L
221 ANN STREET
DOVER, NJ 07801

BLOCK 406, LOT 7
PANAGIOTIS, PHILICIA
229 ANN ST
DOVER, NJ 07801

BLOCK 406, LOT 20
CALLE, WALTER LEONARDO GONZALEZ
3 BEAUFORT AVE
DOVER, NJ 07801

BLOCK 406, LOT 21
CANNON NAN L
11 BEAUFORT AVE
DOVER, NJ 07801

BLOCK 407, LOT 1
MC BRIDE, JENNIFER NICHOLAS TRUST
7 CHELSEA DR
RANDOLPH, NJ 07869

BLOCK 407, LOT 13
RAMIREZ, BRYAN / EDGAR & JEANE
49 W CEDAR ST
LIVINGSTON, NJ 07039

BLOCK 407, LOT 14
OBANDO, BRYANT
235 PROSPECT ST
DOVER, NJ 07801

BLOCK 407, LOT 15
GABRIEL, MARCO ANTONIO DIAZ
19 WATSON DR
DOVER, NJ 07801

BLOCK 407, LOT 16
RIVERA, ANDRES & AGUIRRE, LUZ M
253 PROSPECT ST A&B
DOVER, NJ 07801

BLOCK 407, LOT 17
PEREZ, VICTORIA STELLA
265 PROSPECT ST
DOVER, NJ 07801

BLOCK 407, LOT 18
PATTERSON, DAVID A & JULIE M
232 ANN ST
DOVER, NJ 07801

BLOCK 407, LOT 19
LAI, YAODONG/LIU, LAIN
222 ANN ST
DOVER, NJ 07801

BLOCK 408, LOT 9
ACEVEDO, ALESA/ANA ROSA
240 ANN ST
DOVER, NJ 07801

BLOCK 1008, LOT 13
BRANIGAN, ROBERT JOHN/CLAUDIA
1 FRED TER
DOVER, NJ 07801

BLOCK 1008, LOT 14
TURNER, LINDA E/CLYDE D
234 PROSPECT ST
DOVER, NJ 07801

BLOCK 1008, LOT 15
VIZUETA, JORGE & MARTHA
12 AUDREY PL
DOVER, NJ 07801

BLOCK 1008, LOT 16
CEDENO, FRANCIS
16 AUDREY PL
DOVER, NJ 07801

BLOCK 1008, LOT 17
TORO, OMAR/RUTH
20 AUDREY PL
DOVER, NJ 07801

BLOCK 1008, LOT 18
DIAZ, MARLYN M
24 AUDREY PL
DOVER, NJ 07801

BLOCK 1008, LOT 19
RUGG, JUDITH D
28 AUDREY PL
DOVER, NJ 07801

BLOCK 1101, LOT 31
AHMED, AHMED
65 SUMMIT AVE
DOVER, NJ 07801

BLOCK 1101, LOT 32
WAGNER PAUL J & URSULA ZUGEL
BLOCK 1101, LOT 33
ORAVEZ, THOMAS
179 NAUGHRIGHT RD
LONG VALLEY NJ 07853

BLOCK 1101, LOT 33.01
MASTROIPIERRO, JOSEPH/CATHERINE
4 CHELSEA DR
RANDOLPH NJ 07869

BLOCK 1101, LOT 34
PORTAL INVESTMENTS LLC
57 W MUNSON AVE
DOVER, NJ 07801

BLOCK 1102, LOT 17
SCALICI, FRANCA/ANDREA
10 NEW ST
DEVENILLE NJ 07801

BLOCK 1102, LOT 18
ROSADO, ILLUMINADA/MOLINA, MIGUELA
11 AUDREY PL
DOVER, NJ 07801

BLOCK 1102, LOT 19
SANTIAGO FELIPE/ROSA SOTO
7 AUDREY PL
DOVER, NJ 07801

BLOCK 1102, LOT 20
BONILLA, NORA IDALIA GUEVARA
3 AUDREY PL
DOVER, NJ 07801

BLOCK 1102, LOT 21.01
OEO, JERRY
1 AUDREY PL
DOVER, NJ 07801

BLOCK 1102, LOT 22
JUCA, LENIN J AYALA & ROMERO, C T S
172 THOMPSON AVE
DOVER, NJ 07801

BLOCK 1102, LOT 23
GANDHI, SATISHCHANDNA G
168 THOMPSON AVE
DOVER, NJ 07801

BLOCK 1102, LOT 24
AGUIRRE, DUAVAN H/YOBANA
164 THOMPSON AVE
DOVER, NJ 07801

BLOCK 1102, LOT 25
VEGA CAPITAL INVESTMENTS LLC
15 JAMES CT
ROCKAWAY, NJ 07866

BLOCK 1102, LOT 26
VAZQUEZ, RAMON
16 GRANT ST
DOVER, NJ 07801

BLOCK 405, LOT 4.01
VEGA, CHRISTIAN
15 JAMES CT
ROCKAWAY, NJ 07866

BLOCK 405, LOT 4.03
VEJA, CHRISTIAN
15 JAMES CT
ROCKAWAY, NJ 07866

BLOCK 405, LOT 6
SPILMAN RONALD & BETTY L
221 ANN ST
DOVER, NJ 07801

BLOCK 406, LOT 10
KLINGER JOHN B & GERTRUDE
3 FOX HILL DR
DOVER, NJ 07801

BLOCK 406, LOT 11
RIVERA JOSE & RAMONITA
11 FOX HILL DR
DOVER, NJ 07801

BLOCK 406, LOT 18
ABDUJABBAROVA, MALIKA/TOKHIR
12 FOX HILL DR
DOVER, NJ 07801

BLOCK 406, LOT 19
FLOTH, CHRISTIAN/SHANA
185 ANN ST
DOVER, NJ 07801

BLOCK 406, LOT 20
CALLE, WALTER LEONARDO GONZALES
3 BEAUFORT AVE
DOVER, NJ 07801

BLOCK 406, LOT 21
CANNON NAN L
11 BEAUFORT AVE
DOVER, NJ 07801

BLOCK 406, LOT 6
SAMUYLOV, GARCIA/PLYOTR
7 GEORGE ST
DOVER, NJ 07801

BLOCK 406, LOT 8
RYAN MICHAEL J & ROBIN LALLY
1 GEORGE ST
DOVER, NJ 07801

BLOCK 407, LOT 1
MC BRIDE, JENNIFER NICHOLAS TRUST
7 CHELSEA DR
RANDOLPH, NJ 07869

BLOCK 407, LOT 10
ROMAN, GILBERTO/SONIA
11 SOUTH ESSEX ST
DOVER, NJ 07801

BLOCK 407, LOT 12
MARTINEZ, BIANCA
167 PROSPECT ST
DOVER, NJ 07801

BLOCK 407, LOT 13
RAMIREZ, BRYAN / EDGAR & JEANNE
49 W CEDAR ST
LIVINGSTON, NJ 07039

BLOCK 407, LOT 14
OBANDO, BRYANT
235 PROSPECT ST
DOVER, NJ 07801

BLOCK 407, LOT 15
GABRIEL, MARCO ANTONIO DIAZ
19 WATSON DR
DOVER, NJ 07801

BLOCK 407, LOT 19
LAI, YAODONG/LUO, LAIN
222 ANN ST
DOVER, NJ 07801

BLOCK 407, LOT 2
MULLIN, JAMES/LINDA
150 ANN ST
DOVER, NJ 07801

BLOCK 407, LOT 2.01
KWAN, SIK CHUNG
152 ANN ST
DOVER, NJ 07801

BLOCK 407, LOT 20
THE NICHOLAS PARTNERSHIP
7 CHELSEA DR
RANDOLPH, NJ 07869

BLOCK 407, LOT 3
DOWNS PAUL W & OLGA A
40 LAWRENCE ST
DOVER, NJ 07801

BLOCK 407, LOT 4
DOWNS, TIMOTHY P/SANDRA L
40 LAWRENCE ST
DOVER, NJ 07801

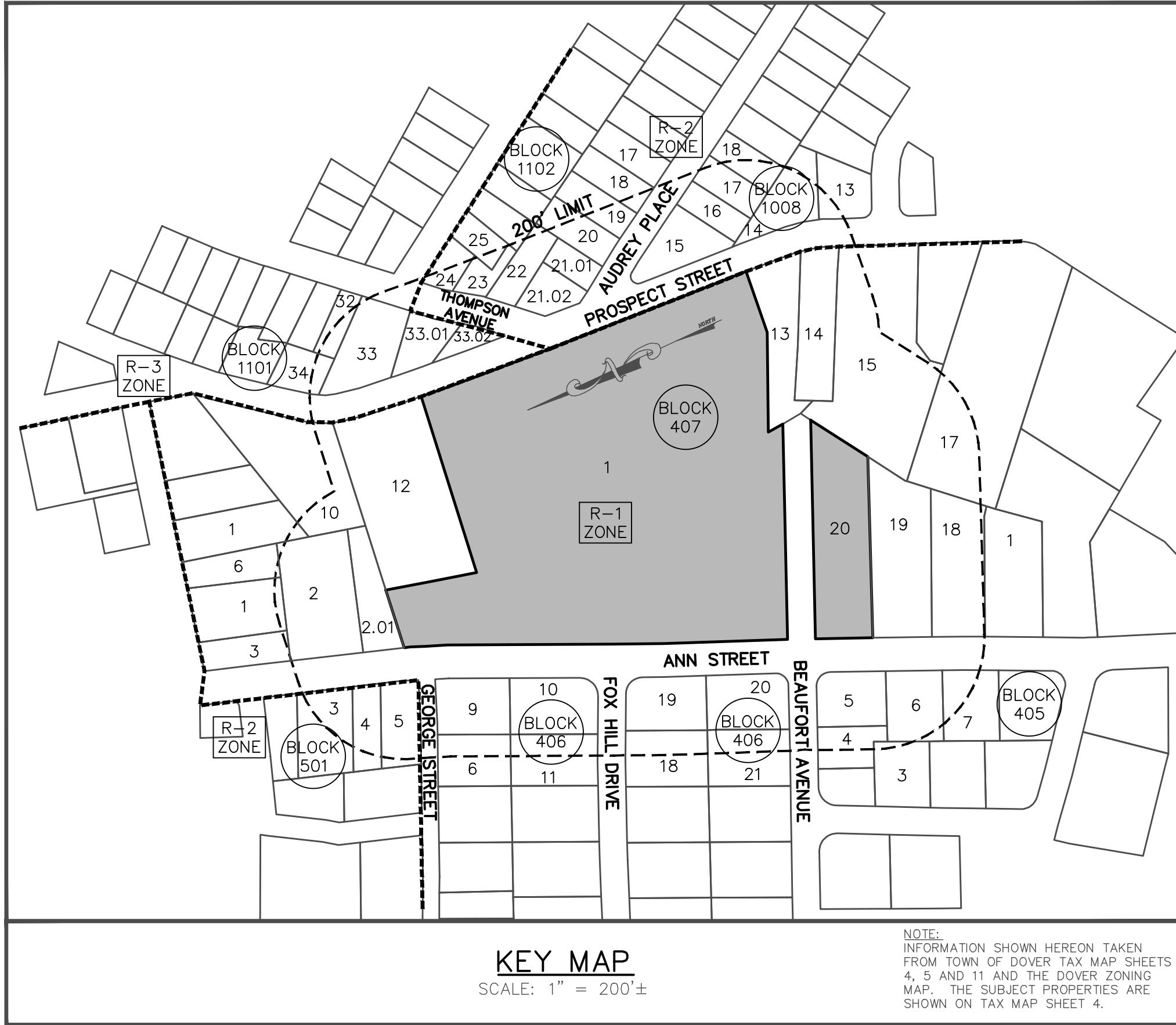
BLOCK 407, LOT 6
BROWN, KEVIN/ALLISON
32 LAWRENCE ST
DOVER, NJ 07801

BLOCK 407, LOT 7
SGALIA DAVID J & SUSAN M
22 LAWRENCE ST
DOVER, NJ 07801

BLOCK 501, LOT 2
ANGEL, ALEA/RESTREPO, FRANCISCO J
95 ANN ST
DOVER, NJ 07801

BLOCK 501 LOT 4
CASTRO, JACQUELINE/EDWIN
99 ANN ST
DOVER, NJ 07801

BLOCK 501, LOT 5
SHARP, FRANK V/ELAINE A
105 ANN ST
DOVER, NJ 07801



NOTES AND REFERENCES

1. APPLICANT/OWNER: NICHOLAS FAMILY LLC/NOPCO, INC.
7 CHELSEA DRIVE
RANDOLPH, NJ 07869
2. THESE PLANS HAVE BEEN PREPARED FOR PRELIMINARY AND FINAL MAJOR SUBDIVISION APPROVAL KNOWN AS BLOCK 407, LOTS 1 & 20 LOCATED IN THE TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY.
3. THE SUBJECT PROPERTIES ARE 9.096 ACRES IN SIZE AND LOCATED ENTIRELY WITHIN THE SINGLE FAMILY (R-1) ZONE DISTRICT OF THE TOWN OF DOVER. THE PROPERTY HAS FRONTAGE ALONG ANN STREET AND PROSPECT STREET.
4. UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. FIELD MARKOUT CAN BE REQUESTED BY CALLING 1-800-242-1000.
5. BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS BASED ON MAP TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOT 1 - BLOCK 407, TAX LOT 20 - BLOCK 407, 180 ANN STREET, TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY" PREPARED BY LAKELAND SURVEYING DATED 1/2/26.
6. DYKSTRA WALKER DESIGN GROUP PERFORMED FIELD SURVEY WORK FOR TREE LOCATIONS AND UTILITIES.
7. HORIZONTAL DATUM IS NAD 83 PER GPS/RTK OBSERVATIONS TAKEN BY DYKSTRA WALKER DESIGN GROUP IN MAY 2026 (SPECTRA PRECISION SP60/GEOD 18) VERTICAL DATUM IS NAVD 88 PER ABOVE REFERENCED SURVEY.
8. THERE ARE NO FLOODPLAINS OR FLOODWAYS ON THE SUBJECT PROPERTY PER FIRM MAPPING.
9. THERE ARE NO FRESHWATER WETLANDS ON OR WITHIN 150 FEET OF THE SUBJECT PROPERTY PER NJ GEOWEB MAPPING.
10. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF DOVER AND OSHA SAFETY STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE.
11. WATER SERVICE SHALL BE PROVIDED TO THE PROPOSED DEVELOPMENT BY THE EXTENSION OF THE MUNICIPAL SERVICES LOCATED WITHIN ANN DRIVE. ALL MATERIALS, METHODS OF CONSTRUCTION AND TESTING PROCEDURES MUST BE IN ACCORDANCE WITH TOWNSHIP STANDARDS.
12. SANITARY SEWER SERVICES SHALL BE PROVIDED TO THE PROPOSED DEVELOPMENT VIA THE EXTENSION OF EXISTING MUNICIPAL SERVICES LOCATED IN PROSPECT STREET FOR LOTS 1.09 - 1.17 AND 20.02 - 20.05. SANITARY SEWER SERVICE TO BE PROVIDED TO LOTS 1.01 - 1.08 & 20.01 FROM ANN STREET.
13. ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ANY DESIGN ADJUSTMENTS AS MAY BE REQUIRED DUE TO FIELD CONDITIONS.
14. APPLICANT TO OBTAIN ROAD OPENING PERMIT FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
15. GRADING PLANS WILL BE PROVIDED TO THE TOWNSHIP PRIOR TO THE ISSUANCE OF CONSTRUCTION PERMITS FOR EACH INDIVIDUAL LOT.
16. STEEP SLOPE DISTURBANCE VARIANCE IS REQUIRED FOR DISTURBING 6,737 SF OF NON EXEMPT CRITICAL SLOPES WHERE A MAXIMUM OF 0 SF IS ALLOWED PER TOWN OF DOVER ORDINANCE SECTION 236-21.2.

ZONING REQUIREMENTS

R-1 (SINGLE FAMILY) ZONE DISTRICT

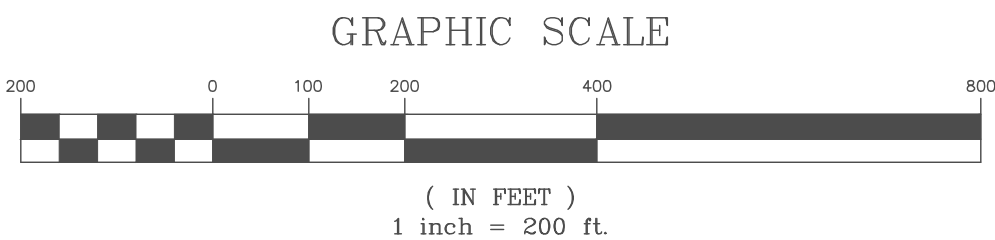
ITEM	REQUIRED	LOT 1.01	LOT 1.02	LOT 1.03	LOT 1.04	LOT 1.05	LOT 1.06	LOT 1.07	LOT 1.08	LOT 1.09	LOT 1.10	LOT 1.11	LOT 1.12	LOT 1.13	LOT 1.14	LOT 1.15	LOT 1.16	LOT 1.17	LOT 20.01	LOT 20.02	LOT 20.03	LOT 20.04	LOT 20.05
MINIMUM LOT AREA	7,500 SF	10,310 SF	10,511 SF	10,902 SF	10,901 SF	10,901 SF	15,380 SF	13,655 SF	8,444 SF	8,619 SF	10,481 SF	11,597 SF	11,683 SF	28,286 SF	19,566 SF	12,240 SF	11,804 SF	16,064 SF	7,500 SF	7,500 SF	9,492 SF	12,266 SF	10,120 SF
MINIMUM LOT WIDTH (STREET LINE)	75 FT	78.2 FT	78.2 FT	78.2 FT	78.2 FT	78.2 FT	102.5 FT	90.0 FT	75.0 FT	76.6 FT	183.4 FT	106.0 FT	212.2 FT	75.5 FT	82.4 FT	102.0 FT	92.6 FT	75.0 FT	75.0 FT	75.0 FT	75.0 FT	75.0 FT	75.0 FT
MINIMUM FRONT YARD SETBACK	20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT	< 20 FT
MINIMUM REAR YARD SETBACK	30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT	< 30 FT
MINIMUM SIDE YARD SETBACK (SINGLE)	10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT	< 10 FT
MINIMUM SIDE YARD SETBACK (COMBINED)	25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT	< 25 FT
MINIMUM FLOOR AREA	1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF	> 1,000 SF
MAXIMUM REQUIRED BUILDING COVERAGE	25% (1)	2,310 SF	2,496 SF	2,496 SF	2,496 SF	2,496 SF	2,089 SF	3,049 SF	2,027 SF	2,027 SF	2,105 SF	1,607 SF	1,270 SF	2,303 SF	1,233 SF	1,353 SF	1,431 SF	2,200 SF	1,875 SF	1,859 SF	2,261 SF	3,032 SF	2,205 SF
MAXIMUM PROPOSED BUILDING COVERAGE	SEE EACH LOT	< 2,310 SF	< 2,496 SF	< 2,496 SF	< 2,496 SF	< 2,496 SF	< 2,089 SF	< 3,049 SF	< 2,027 SF	< 2,027 SF	< 2,105 SF	< 1,607 SF	< 1,270 SF	< 1,500 SF	< 1,225 SF	< 1,250 SF	< 1,250 SF	< 1,500 SF	< 1,875 SF	< 1,859 SF	< 2,261 SF	< 3,032 SF	< 2,205 SF
MAXIMUM REQUIRED LOT (IMPERVIOUS) COVERAGE	65% OR 4,300 SF (1)	< 6,007 SF	< 6,468 SF	< 6,468 SF	< 6,390 SF	< 6,430 SF	< 7,700 SF	< 7,927 SF	< 5,464 SF	< 5,271 SF	< 5,473 SF	< 4,333 SF	< 3,301 SF	< 5,988 SF	< 3,205 SF	< 3,518 SF	< 3,721 SF	< 5,719 SF	< 4,875 SF	< 4,833 SF	< 5,878 SF	< 7,884 SF	< 5,733 SF
MAXIMUM PROPOSED LOT (IMPERVIOUS) COVERAGE	SEE EACH LOT	< 6,007 SF	< 6,468 SF	< 6,468 SF	< 6,390 SF	< 6,430 SF	< 7,700 SF	< 7,927 SF	< 5,464 SF	< 5,271 SF	< 5,473 SF	< 4,333 SF	< 3,301 SF	< 5,988 SF	< 3,205 SF	< 3,518 SF	< 3,721 SF	< 5,719 SF	< 4,875 SF	< 4,833 SF	< 5,878 SF	< 7,884 SF	< 5,733 SF
MAXIMUM BUILDING HEIGHT	35 FT (2 STORIES)	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT	< 35 FT

(1) PER DOVER STEEP SLOPE ORDINANCE, MAXIMUM BUILDING AND IMPERVIOUS COVERAGE IS BASED ON PERCENTAGE OF STEEP SLOPES ON EACH PROPERTY. SEE SHEET #9 FOR FULL CALCULATIONS.

SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN
4	CONCEPTUAL GRADING PLAN
5	DRAINAGE PLAN
6	OFF-SITE DRAINAGE PLAN
7	ROADWAY PROFILE
8	STEEP SLOPE MAP
9	SOIL EROSION & SEDIMENT CONTROL PLAN
10	TREE LOCATION PLAN
11	SOIL MOVING PLAN
12	PROPOSED ROADWAY CROSS SECTIONS
13	EXISTING DRAINAGE AREA MAP
14	PROPOSED DRAINAGE AREA MAP
15-17	CONSTRUCTION NOTES AND DETAILS

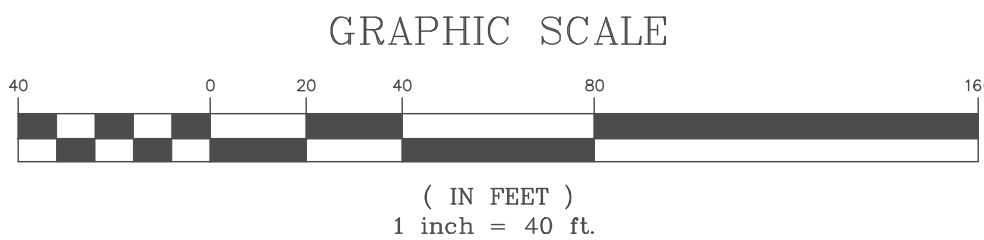
PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD OF THE TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY	
PLANNING BOARD CHAIRPERSON	DATE
PLANNING BOARD SECRETARY	DATE
TOWN ENGINEER	DATE



		DYKSTRA WALKER DESIGN DW GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY SUITE 204 LAKE HOPATCONG, NJ 07849 PHONE (973) 654-5544 FAX (973) 655-0042 WWW.DYKSTRAWALKER.COM		COVER SHEET			
				PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN		SCALE: 1" = 200'	
				BLOCK 407, LOT 1 - #180 ANN STREET BLOCK 407, LOT 20 - #220 ANN STREET TOWN OF DOVER MORRIS COUNTY NEW JERSEY		JOB NO.: 15107	
						DRAWN BY: JY	
						CHECKED BY: MGW	
						DATE: 6/26/26	
						SHEET NO. 1 OF 17	

NOTES AND REFERENCES

1. TOWN OF DOVER TAX MAPS.
2. BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS BASED ON MAP TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOT 1 - BLOCK 407, TAX LOT 20 - BLOCK 407, 180 ANN STREET, 220 ANN STREET, TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY" PREPARED BY LAKELAND SURVEYING DATED 1/2/26. VERTICAL DATUM IS NAVD 1988 PER SAID MAP.
3. DYKSTRA WALKER DESIGN GROUP PERFORMED SUPPLEMENTAL FIELD WORK IN APRIL 2026 TO ACQUIRE ADDITIONAL UTILITY DATA, TO ORIENT TO STATE PLAN COORDINATES SYSTEM NAD 83, AND TO LOCATE TREES. TREES SHOWN ON SEPARATE MAP.
4. HORIZONTAL DATUM IS NAD 83 PER GPS/RTK OBSERVATIONS TAKEN BY DYKSTRA WALKER DESIGN GROUP IN MAY 2026 (SPECTRA PRECISION SP60/GEOD 18).
5. SUPPLEMENTAL OFF-SITE TOPOGRAPHY IS SHOWN PER USGS LIDAR DATA (2017) ACQUIRED FROM NOAA.GOV..
6. UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. FIELD MARKOUT CAN BE REQUESTED BY CALLING 1-800-242-1000.
7. OFFSETS SHOWN HEREON ARE BASED ON SURVEY PREPARED BY LAKELAND SURVEYING, AND SHOULD NOT BE USED AS THE BASIS FOR CONSTRUCTION OF FENCES OR OTHER PERMANENT STRUCTURES.

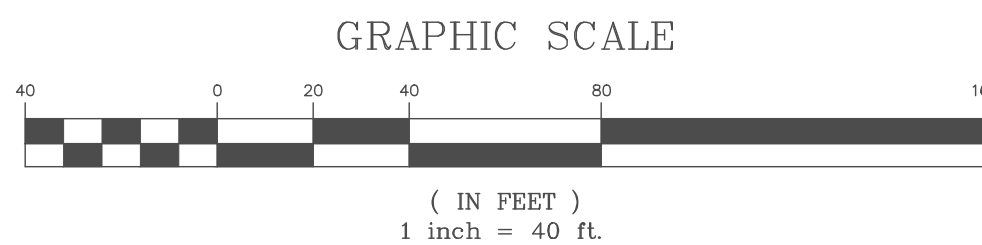


DYKSTRA WALKER
DESIGN GROUP
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
PHONE (973) 663-5540 - FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

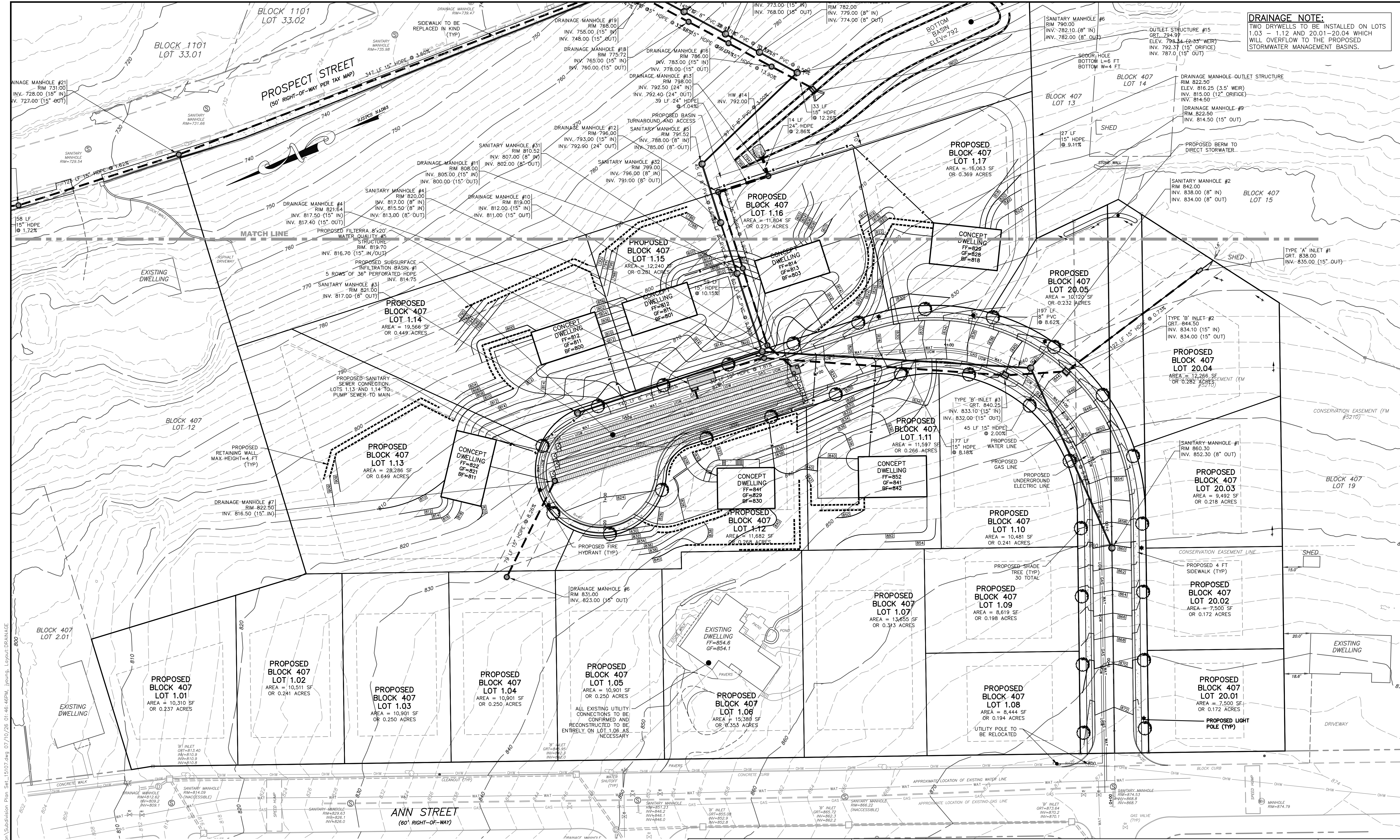
KENNETH D. DYKSTRA
PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. No. 246B03297200

EXISTING CONDITIONS PLAN	
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN	SCALE: 1" = 40'
BLOCK 407, LOT 1 - #180 ANN STREET	JOB NO.: 15107
BLOCK 407, LOT 20 - #220 ANN STREET	DRAWN BY: JY
TOWN OF DOVER	CHECKED BY: KDD
MORRIS COUNTY NEW JERSEY	DATE: 7/6/26
	SHEET NO. 2 OF 17

J:\edstrak\PROJ\1515107\dwg\Subdivision\Subdivision Plan Set_15107.dwg, 07/10/26 01:46:38PM, jyoung, layout:SUBDIVISION

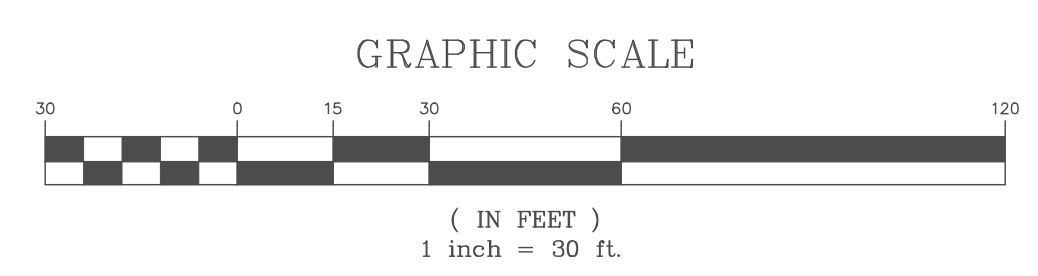


		DYKSTRA WALKER DESIGN DW GROUP PA PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 - FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM	PRELIMINARY SUBDIVISION PLAN	DW SCALE: 1" = 40' JOB NO.: 15107 DRAWN BY: JY CHECKED BY: KDD DATE: 7/6/26 SHEET NO. 3 of 17
		KENNETH D. DYKSTRA PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. No. 246B03297200	PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN	
			BLOCK 407, LOT 1 – #180 ANN STREET BLOCK 407, LOT 20 – #220 ANN STREET TOWN OF DOVER MORRIS COUNTY NEW JERSEY	
DATE	REVISION			

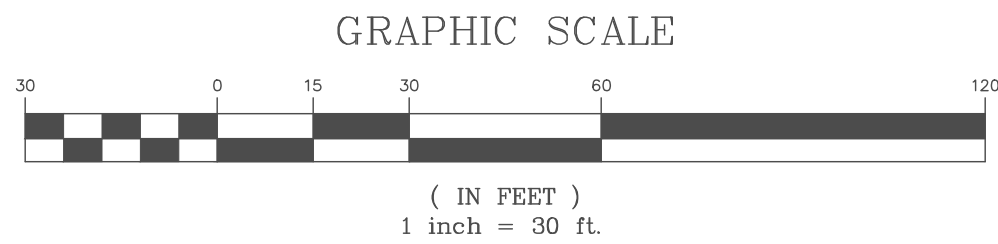


DRAINAGE NOTE:
TWO DRYWELLS TO BE INSTALLED ON LOTS 1.03 - 1.12 AND 20.01-20.04 WHICH WILL OVERFLOW TO THE PROPOSED STORMWATER MANAGEMENT BASINS.

J:\edsk\PROJ\15\15107.dwg Subdivision Subdivision Plot Set: 15107.dwg 07/10/26 01:46:46PM, jyoung, layout: DRAINAGE



DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE: (973) 666-4544 FAX: (973) 666-0042 WWW.DYKSTRA-WALKER.COM MARC G. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900		UTILITY & DRAINAGE PLAN		SCALE: 1" = 30' JOB NO.: 15107 DRAWN BY: JY CHECKED BY: MGW DATE: 7/6/26 SHEET NO. 5 OF 17
		PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN		
		BLOCK 407, LOT 1 - #180 ANN STREET		
		BLOCK 407, LOT 20 - #220 ANN STREET		
TOWN OF DOVER		MORRIS COUNTY		NEW JERSEY



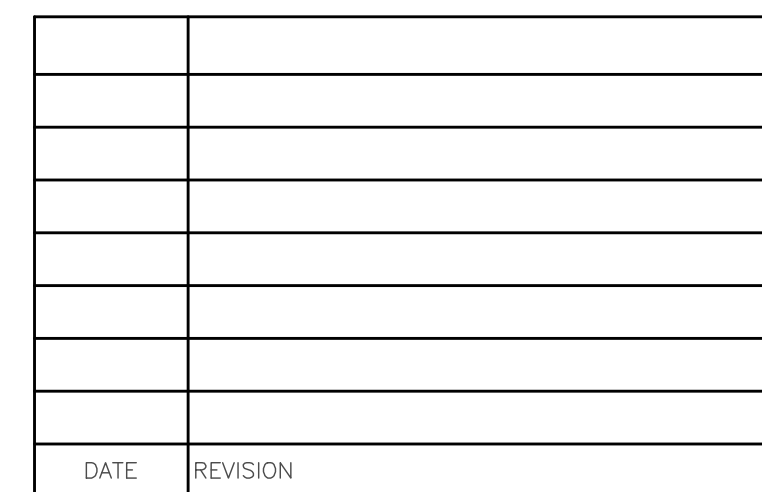
DYKSTRA WALKER
DESIGN & GROUP, PA

PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
PHONE (973) 663-6540 • FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

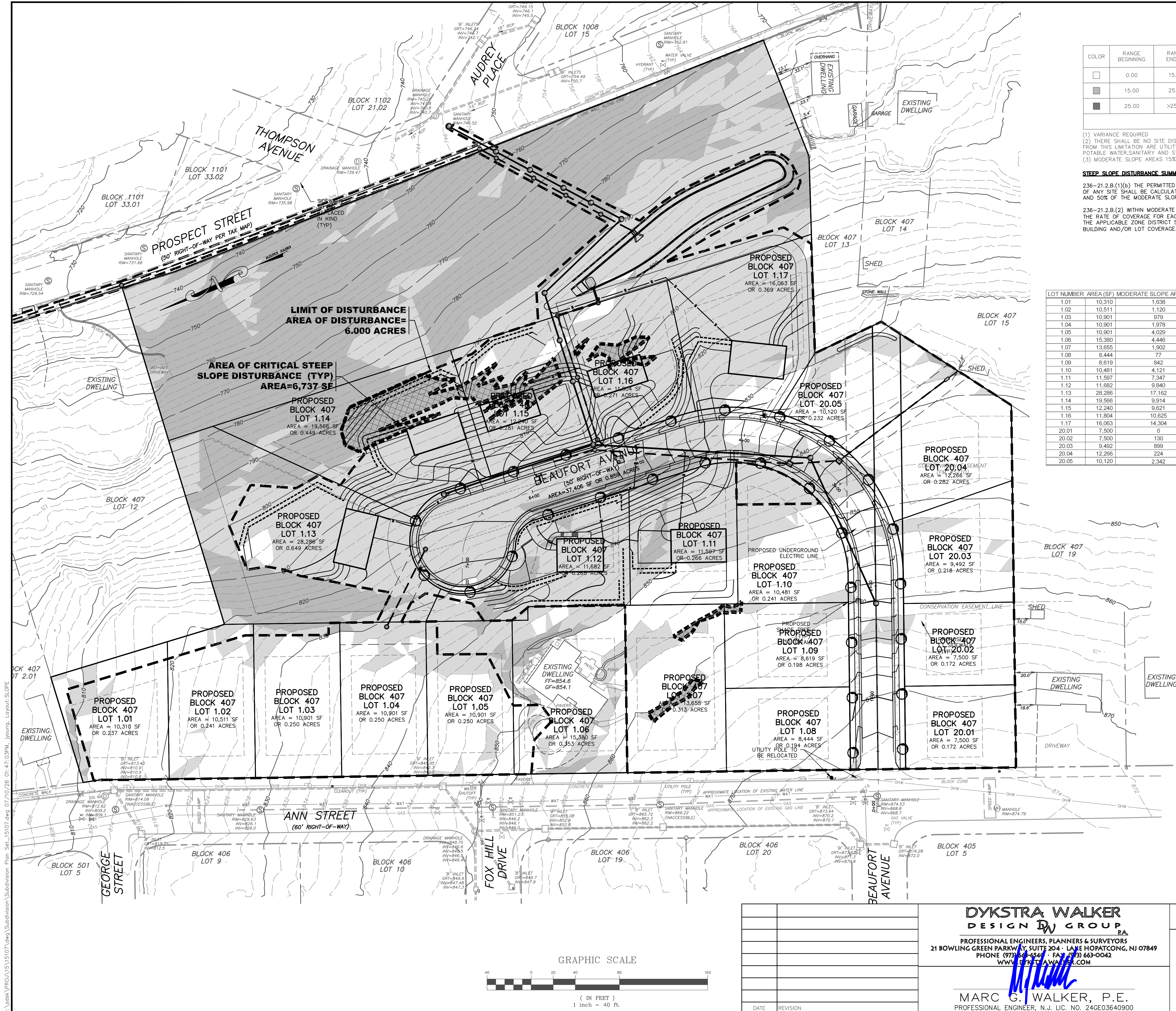
M. Walker

MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 2460E03640900

OFF-SITE DRAINAGE PLAN	
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN	SCALE: 1" = 30'
BLOCK 407, LOT 1 - #180 ANN STREET	JOB NO.: 15107
BLOCK 407, LOT 20 - #220 ANN STREET	DRAWN BY: JY
TOWN OF DOVER	CHECKED BY: MGW
MORRIS COUNTY NEW JERSEY	DATE: 7/6/26
	SHEET NO. 6 OF 17



ROADWAY PROFILE	
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN	SCALE: 1" = 40'
BLOCK 407, LOT 1 - #180 ANN STREET	JOB NO.: 15107
BLOCK 407, LOT 20 - #220 ANN STREET	DRAWN BY: JY
TOWN OF DOVER	CHECKED BY: MGW
MORRIS COUNTY NEW JERSEY	DATE: 7/6/26
	SHEET NO. 7 OF 17



STEEP SLOPE AREA SUMMARY TABLE
(PER SECTION 236-21.2 OF THE TOWN OF DOVER ORDINANCE)

COLOR	RANGE BEGINNING	RANGE ENDING	AREA OF SLOPE RANGE WITHIN LOT	PERCENTAGE OF LOT	PROPOSED AREA OF DISTURBANCE	ALLOWABLE DISTURBANCE (%)
	0.00	15.00	150,063 SF, 3.445 ACRES	36.9%		
	15.00	25.00	159,915 SF, 3.671 ACRES	39.4%		
	25.00	>25.00	96,264 SF, 2.210 ACRES	23.7%	6,737 SF, 0.15 ACRES (1)	0 SF
TOTAL			406,242 SF, 9.326 ACRES	100.0%		

(1) VARIANCE REQUIRED
(2) THERE SHALL BE NO SITE DISTURBANCE, NO STRUCTURES, NO IMPERVIOUS COVERAGE PERMITTED WITHIN CRITICAL SLOPES AREA. EXCLUDED FROM THIS LIMITATION ARE UTILITY IMPROVEMENTS, BOTH PUBLIC AND PRIVATELY CONTROLLED, SUCH AS ELECTRIC, TELEPHONE, CABLE LINES, POTABLE WATER, SANITARY AND STORM SEWER LINES, DRIVEWAYS, UTILITIES AND ROADS, BOTH PUBLIC AND PRIVATE.
(3) MODERATE SLOPE AREAS 15% - 25% CRITICAL SLOPE AREAS >25%

STEEP SLOPE DISTURBANCE SUMMARY:

236-21.2.B.(1)(b) THE PERMITTED LOT COVERAGE AND BUILDING COVERAGE OF ANY SITE SHALL BE CALCULATED BY EXCLUDING ALL CRITICAL SLOPES AND 50% OF THE MODERATE SLOPES FROM THE LOT AREA.

236-21.2.B.(2) WITHIN MODERATE SLOPE AREAS, NO MORE THAN 50% OF THE RATE OF COVERAGE FOR EACH DEVELOPABLE LOT(S), PURSUANT TO THE APPLICABLE ZONE DISTRICT STANDARDS, MAY BE UTILIZED FOR BUILDING AND/OR LOT COVERAGE.

LOT NUMBER	AREA (SF)	MODERATE SLOPE AREA (SF)	CRITICAL SLOPE AREA (SF)	MAXIMUM BUILDING COVERAGE (SF)	MAXIMUM IMPERVIOUS COVERAGE (SF)
1.01	10,310	1,638	250	2,310	6,007
1.02	10,511	1,120	0	2,488	6,468
1.03	10,901	979	429	2,496	6,489
1.04	10,901	1,978	82	2,458	6,390
1.05	10,901	4,029	532	2,089	5,430
1.06	15,380	4,446	1,311	2,962	7,700
1.07	13,655	1,902	509	3,049	7,927
1.08	8,444	77	0	2,101	5,464
1.09	8,619	842	89	2,027	5,271
1.10	10,481	4,121	0	2,105	5,473
1.11	11,597	7,347	1,257	1,667	4,333
1.12	11,662	9,840	1,883	1,270	3,301
1.13	28,299	17,162	10,402	2,303	5,988
1.14	19,566	9,814	9,678	1,233	3,205
1.15	12,240	9,621	2,017	1,353	3,518
1.16	11,804	10,625	767	1,431	3,721
1.17	16,063	14,304	112	2,200	5,719
20.01	7,500	0	0	1,875	4,875
20.02	7,500	130	0	1,859	4,833
20.03	9,492	899	0	2,261	5,878
20.04	12,266	224	25	3,032	7,884
20.05	10,120	2,342	129	2,205	5,733

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GRAPHIC SCALE



(IN FEET)

1 inch = 40 ft.

DYKSTRA WALKER
DESIGN GROUP

PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
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WWW.DYKSTRAWALKER.COM

MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

STEEP SLOPE MAP

PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN

BLOCK 407, LOT 1 - #180 ANN STREET
BLOCK 407, LOT 20 - #220 ANN STREET
TOWN OF DOVER
MORRIS COUNTY NEW JERSEY

DW

SCALE: 1" = 40'

JOB NO.: 15107

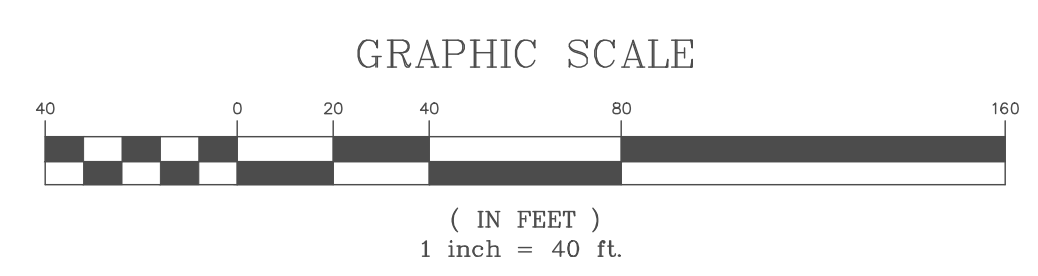
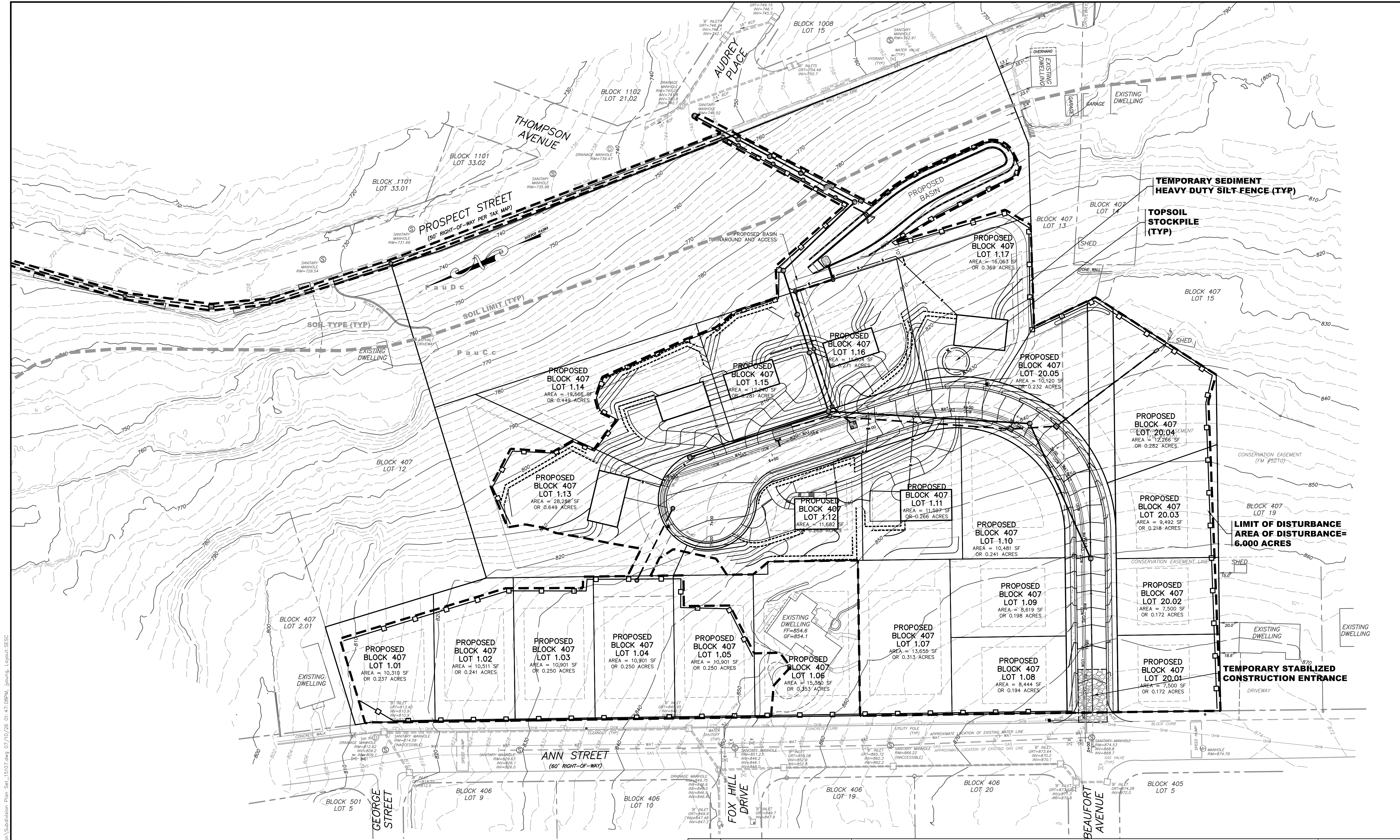
DRAWN BY: JY

CHECKED BY: MGW

DATE: 7/6/26

SHEET NO. 8 OF 17

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DATE	REVISION

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Marc G. Walker
MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

SOIL EROSION & SEDIMENT CONTROL PLAN	
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN	
BLOCK 407, LOT 1 - #180 ANN STREET	
BLOCK 407, LOT 20 - #220 ANN STREET	
TOWN OF DOVER	
MORRIS COUNTY	NEW JERSEY
SHEET NO. 9 OF 17	

SCALE: 1" = 40'
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DRAWN BY: JY
CHECKED BY: MGW
DATE: 7/6/26

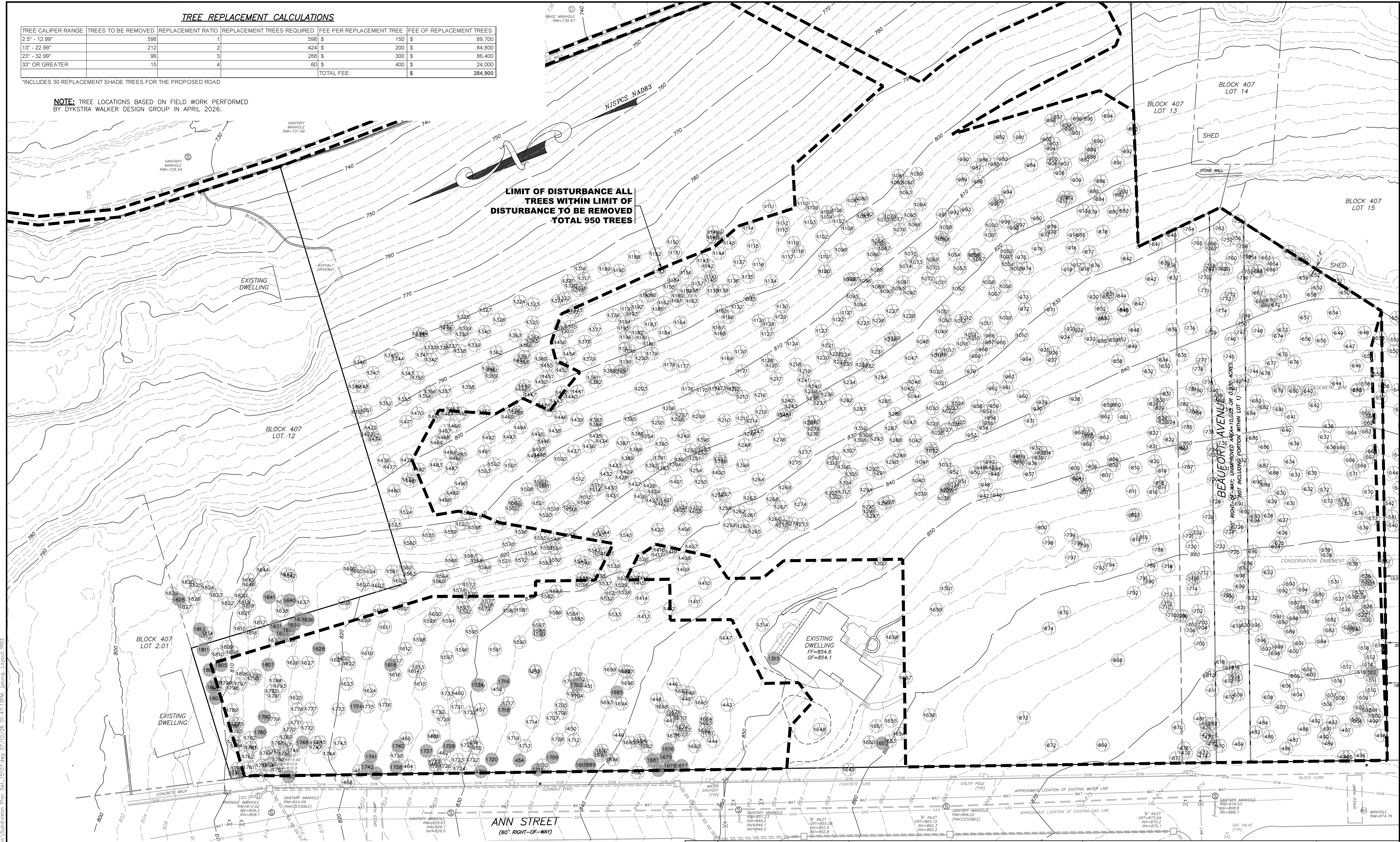
TREE REPLACEMENT CALCULATIONS

TREE CALIPER RANGE	TREES TO BE REMOVED	REPLACEMENT RATIO	REPLACEMENT TREES REQUIRED	FEE PER REPLACEMENT TREE	FEE OF REPLACEMENT TREES
2.5" - 12.99"	598	1	598	\$ 150	\$ 89,700
13" - 22.99"	212	2	424	\$ 200	\$ 84,800
23" - 32.99"	96	3	288	\$ 300	\$ 86,400
33" OR GREATER	15	4	60	\$ 400	\$ 24,000
TOTAL FEE:				\$	\$ 284,900

*INCLUDES 30 REPLACEMENT SHADE TREES FOR THE PROPOSED ROAD

NOTE: TREE LOCATIONS BASED ON FIELD WORK PERFORMED BY DYKSTRA WALKER DESIGN GROUP IN APRIL 2026.

LIMIT OF DISTURBANCE ALL TREES WITHIN LIMIT OF DISTURBANCE TO BE REMOVED TOTAL 950 TREES



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

DYKSTRA WALKER
DESIGN GROUP
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
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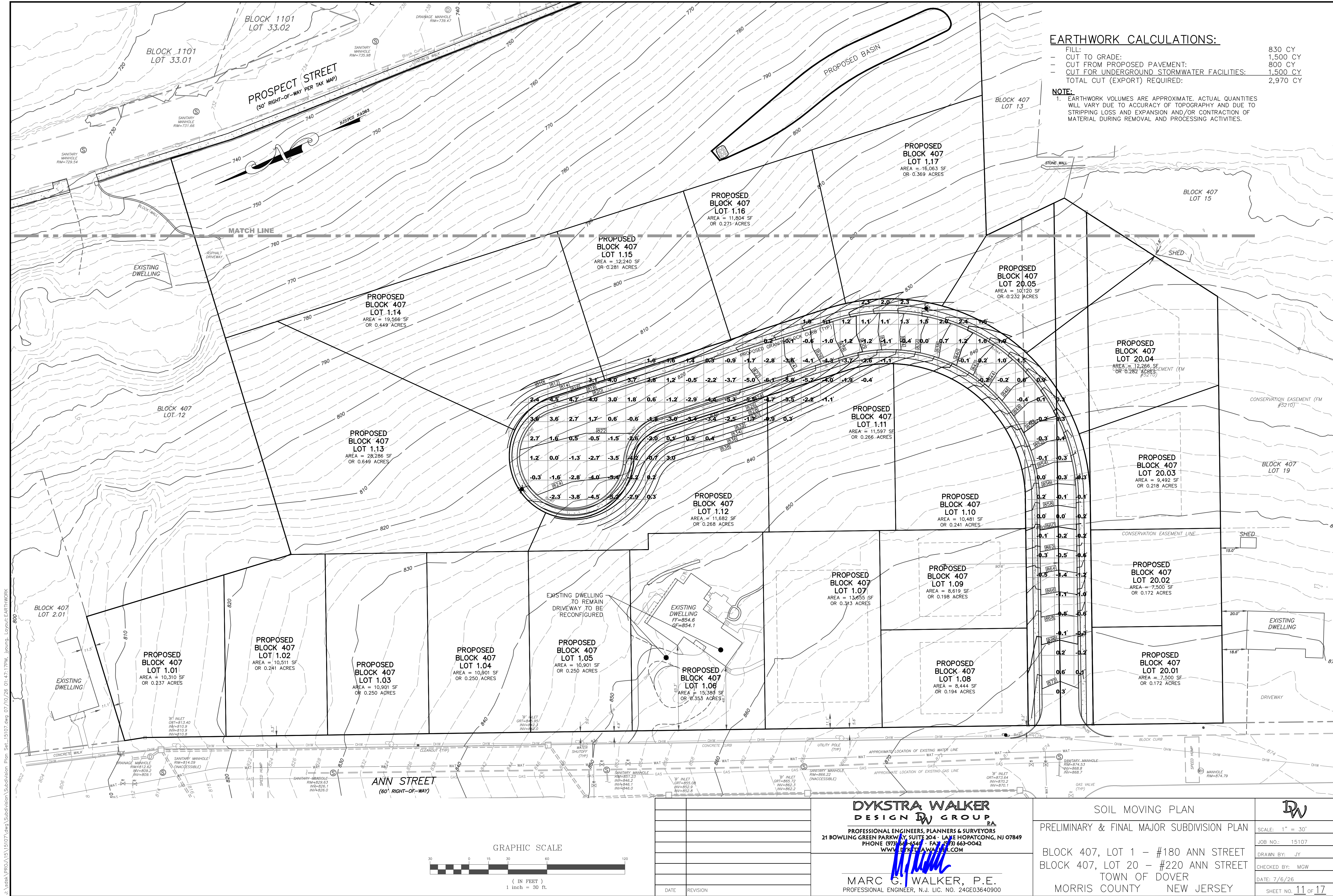
MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

TREE REMOVAL PLAN
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN

BLOCK 407, LOT 1 - #180 ANN STREET
BLOCK 407, LOT 20 - #220 ANN STREET
TOWN OF DOVER
MORRIS COUNTY NEW JERSEY

SCALE: 1" = 30'
JOB NO.: 15107
DRAWN BY: JY
CHECKED BY: MGW
DATE: 7/6/26
SHEET NO. 10 OF 17

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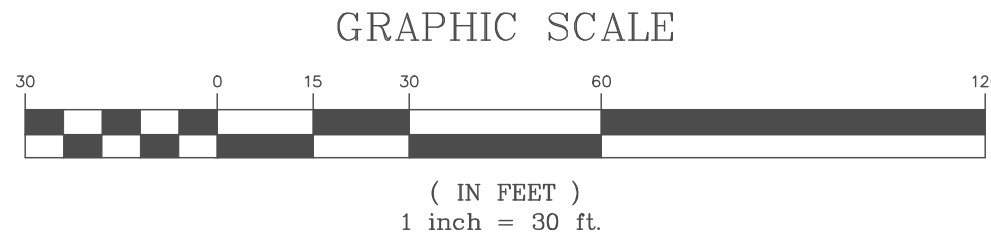


EARTHWORK CALCULATIONS:

FILL:	830 CY
- CUT TO GRADE:	1,500 CY
- CUT FROM PROPOSED PAVEMENT:	800 CY
- CUT FOR UNDERGROUND STORMWATER FACILITIES:	1,500 CY
TOTAL CUT (EXPORT) REQUIRED:	2,970 CY

NOTE:

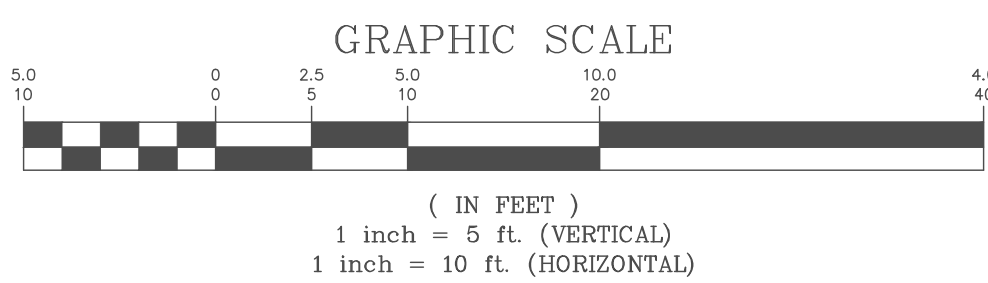
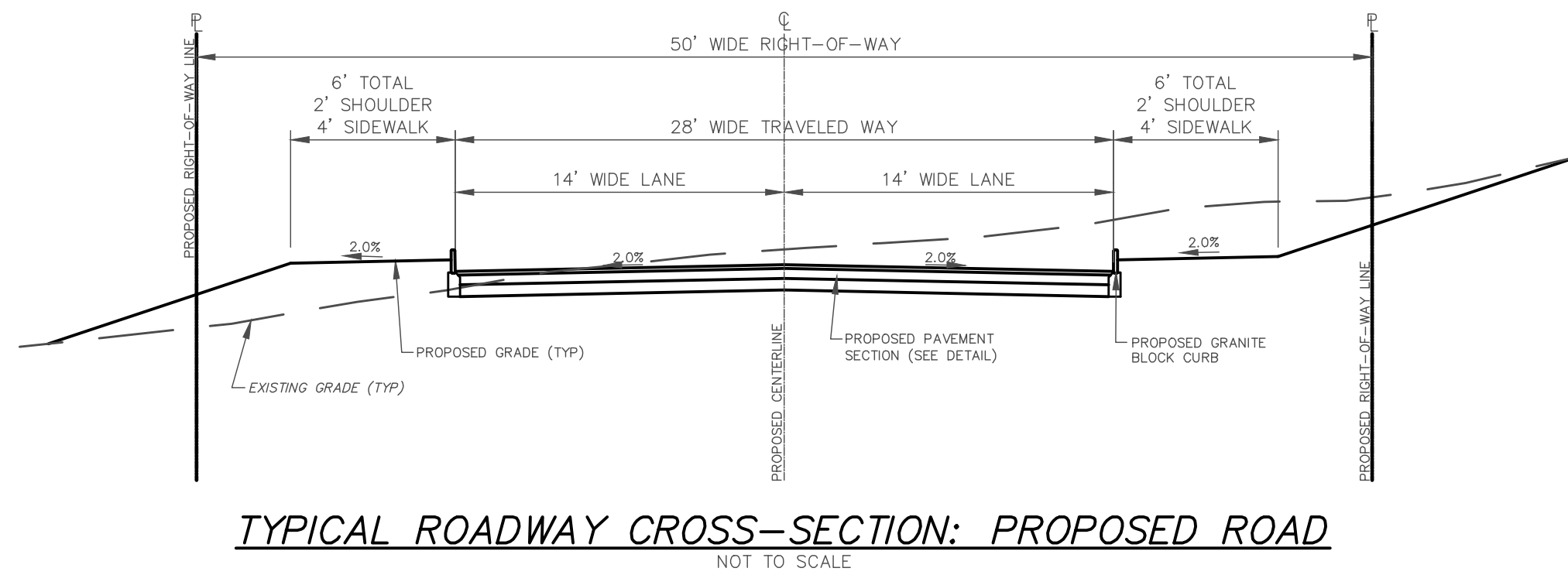
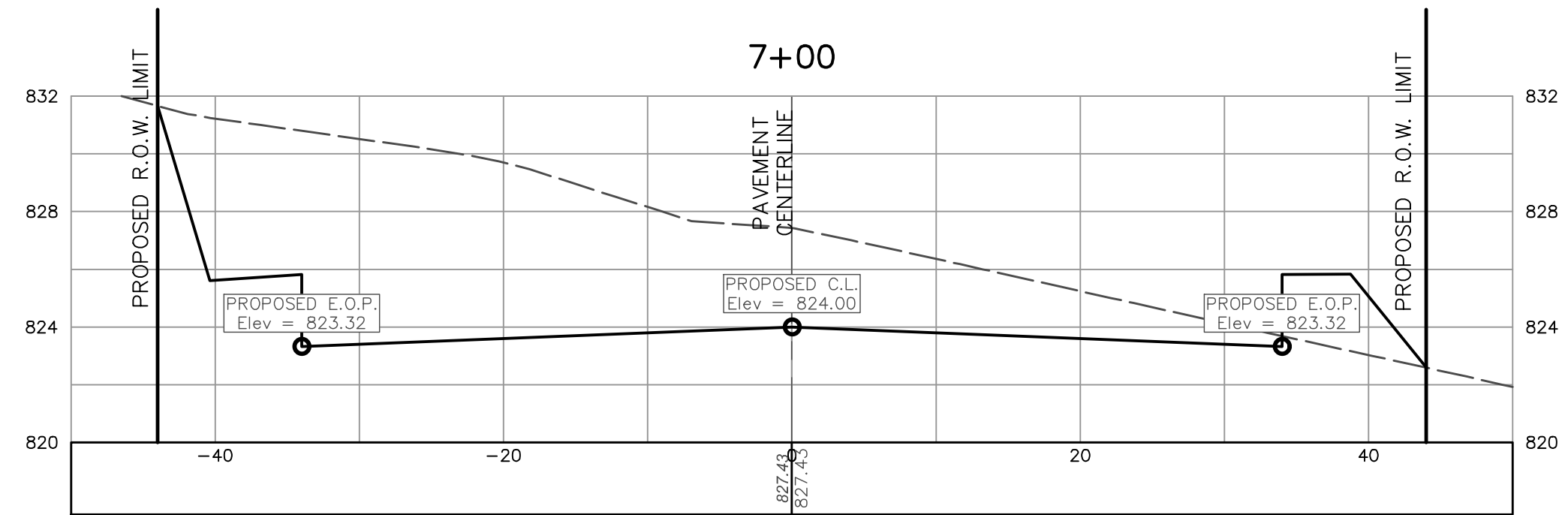
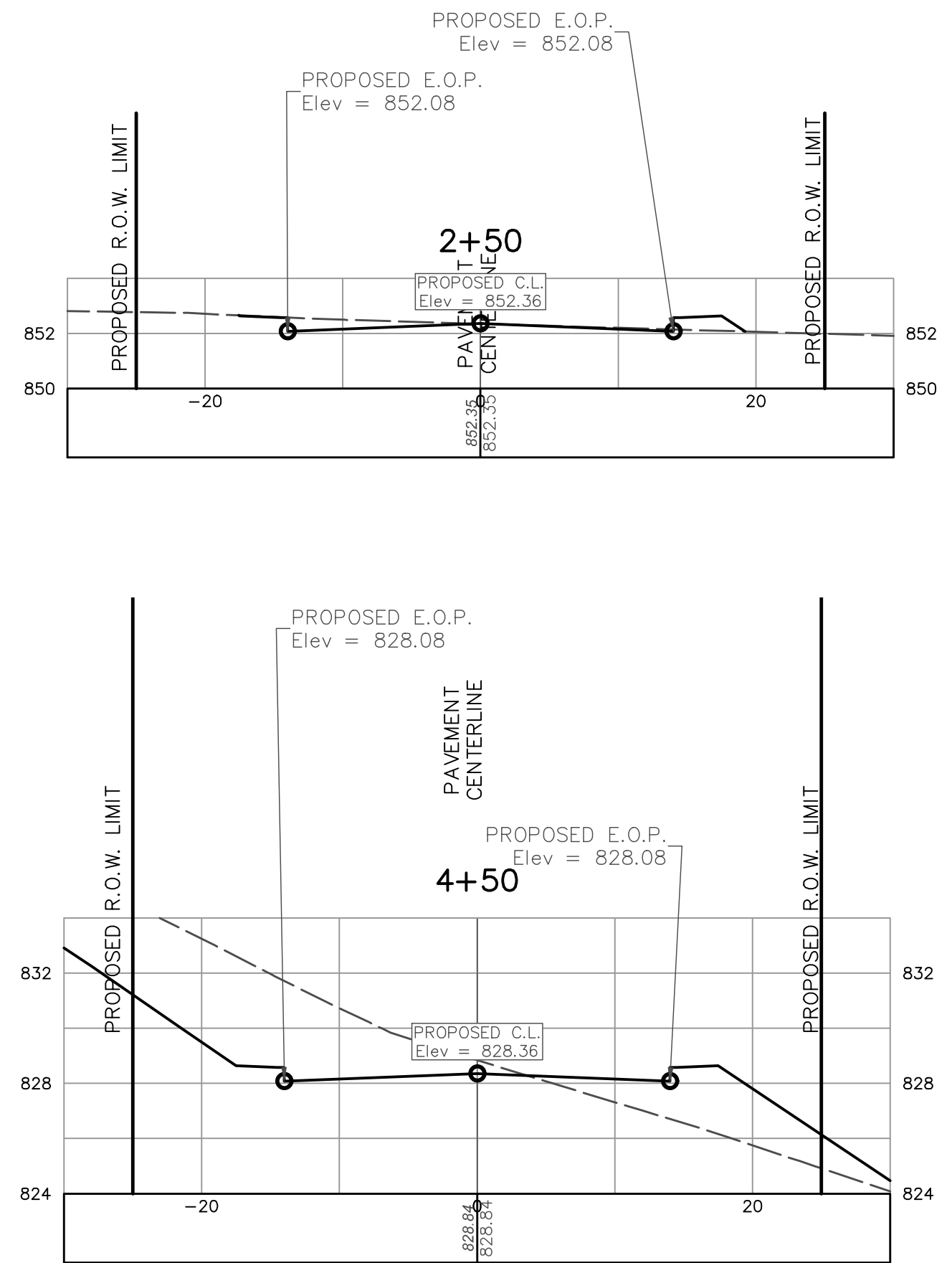
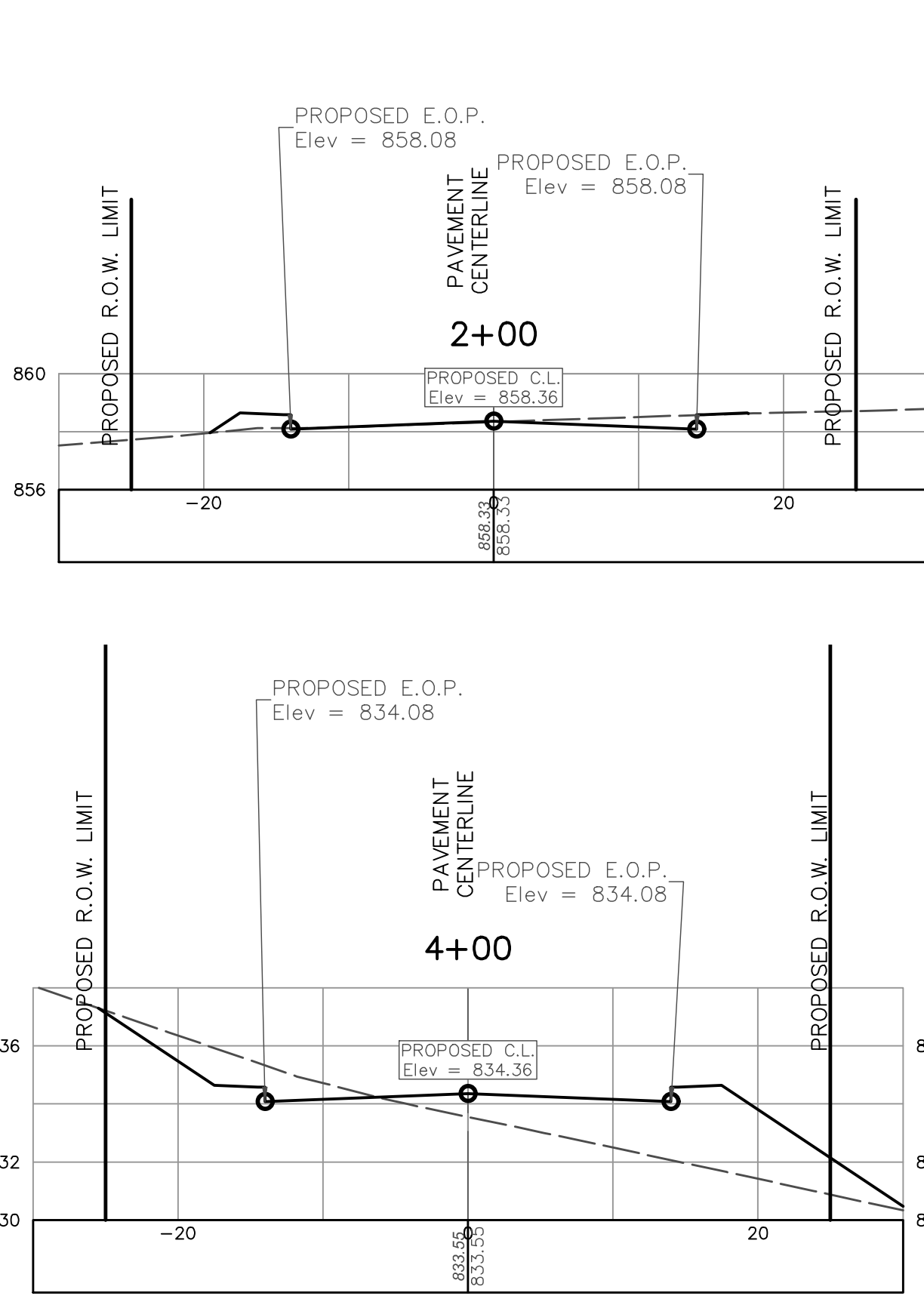
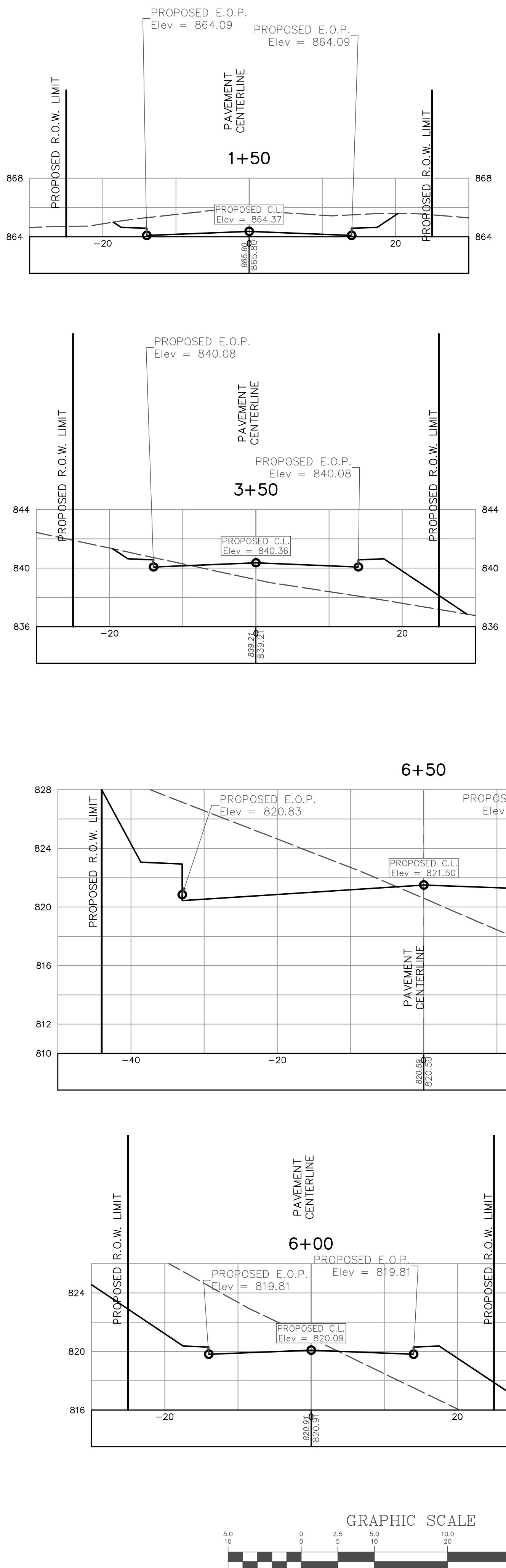
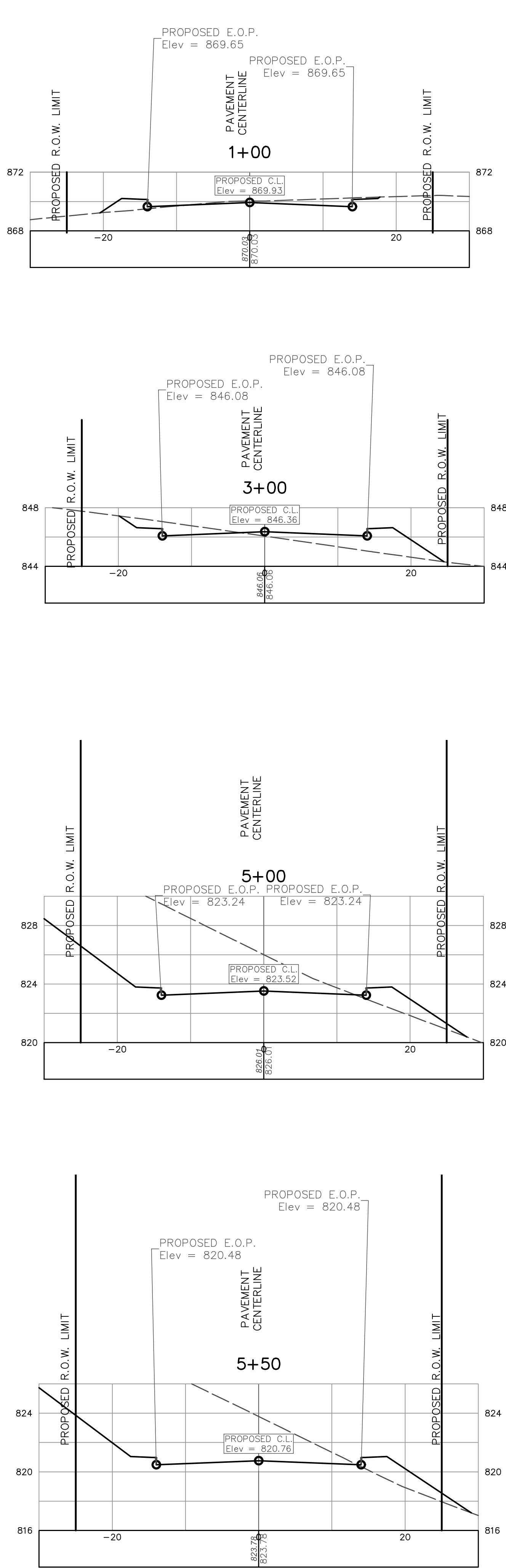
1. EARTHWORK VOLUMES ARE APPROXIMATE. ACTUAL QUANTITIES WILL VARY DUE TO ACCURACY OF TOPOGRAPHY AND DUE TO STRIPPING LOSS AND EXPANSION AND/OR CONTRACTION OF MATERIAL DURING REMOVAL AND PROCESSING ACTIVITIES.



DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-5547 FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM	
MARC G. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900	
DATE	REVISION

SOIL MOVING PLAN		
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN		
BLOCK 407, LOT 1 - #180 ANN STREET		
BLOCK 407, LOT 20 - #220 ANN STREET		
TOWN OF DOVER		
MORRIS COUNTY NEW JERSEY		SCALE: 1" = 30'
		JOB NO.: 15107
		DRAWN BY: JY
		CHECKED BY: MGW
		DATE: 7/6/26
		SHEET NO. 11 OF 17

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DATE	REVISION

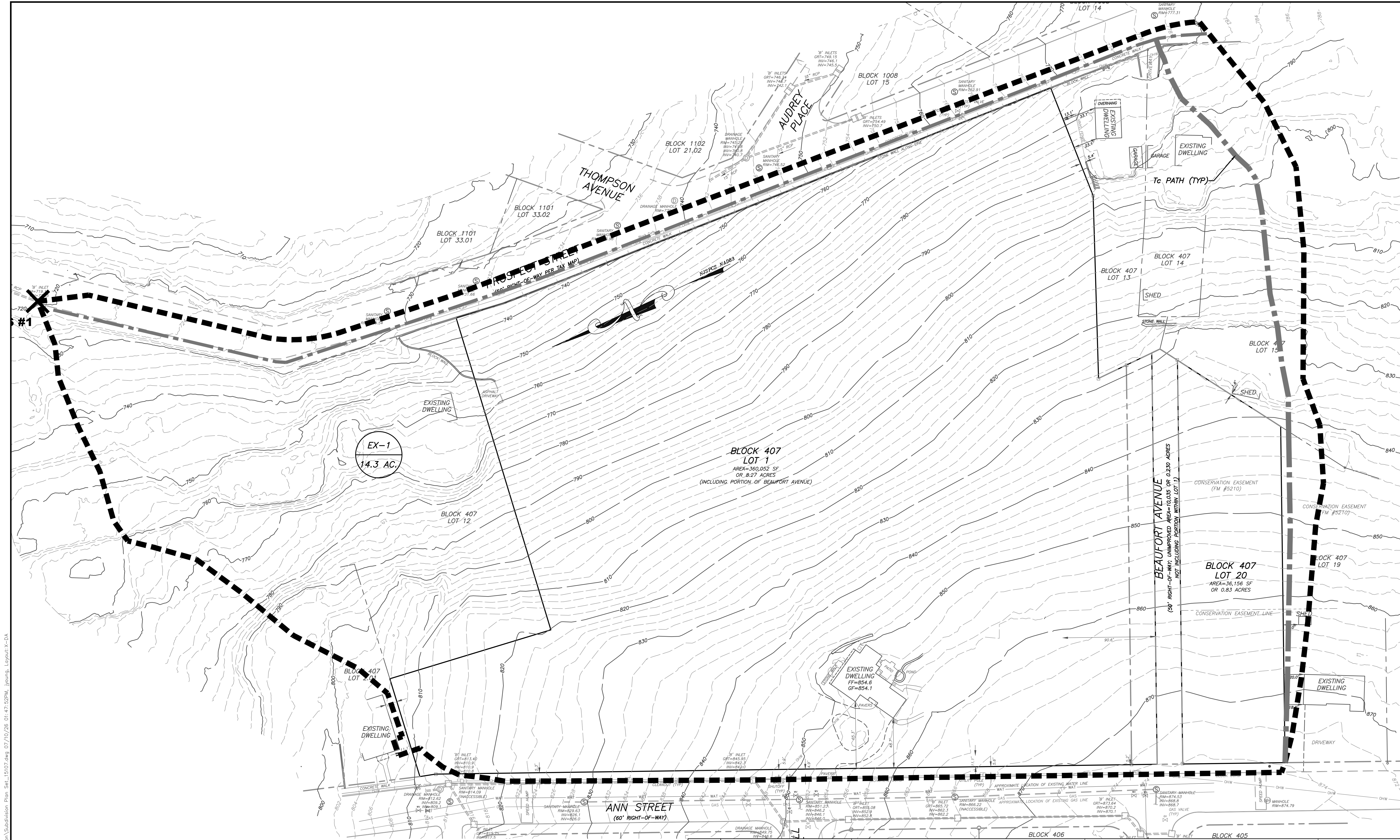
DYKSTRA WALKER
DESIGN GROUP
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
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PHONE (973) 663-4544 FAX (973) 663-0042
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MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

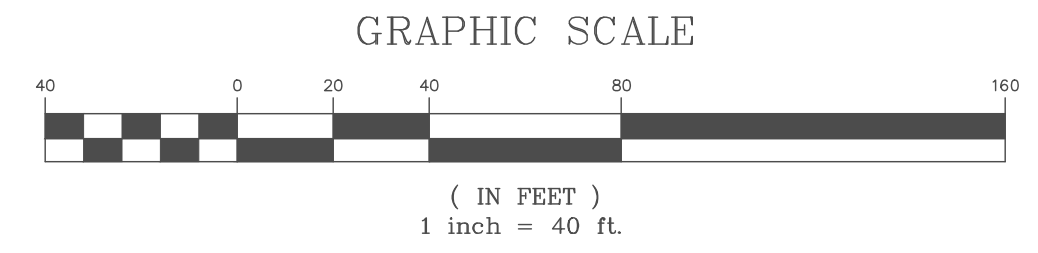
PROPOSED ROADWAY CROSS-SECTIONS
PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN

BLOCK 407, LOT 1 - #180 ANN STREET
BLOCK 407, LOT 20 - #220 ANN STREET
TOWN OF DOVER
MORRIS COUNTY NEW JERSEY

SCALE: 1" = 10'
JOB NO.: 15107
DRAWN BY: JY
CHECKED BY: MGW
DATE: 7/6/26
SHEET NO. 12 OF 17



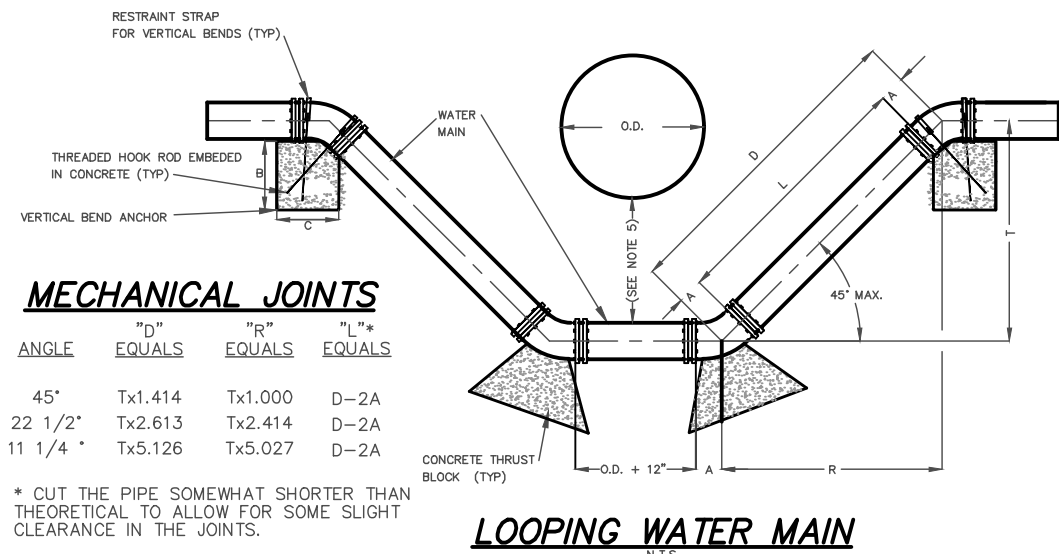
EX-1
14.3 AC.



		DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 544-5444 FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM	EXISTING DRAINAGE AREA MAP		
			PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN		
			BLOCK 407, LOT 1 - #180 ANN STREET		
			BLOCK 407, LOT 20 - #220 ANN STREET		
TOWN OF DOVER		MORRIS COUNTY NEW JERSEY		SCALE: 1" = 40'	
DATE		REVISION		JOB NO.: 15107	
				DRAWN BY: JY	
				CHECKED BY: MGW	
				DATE: 7/6/26	
				SHEET NO. 13 OF 17	

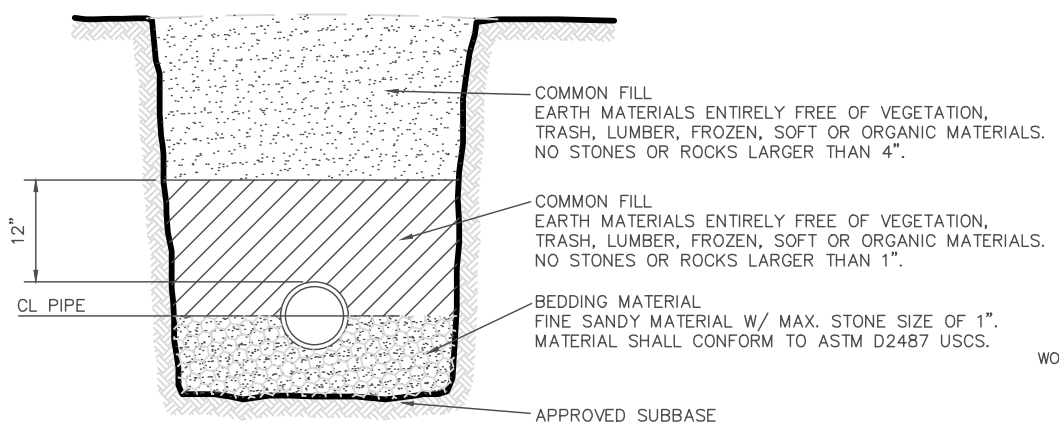
MARC G. WALKER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900

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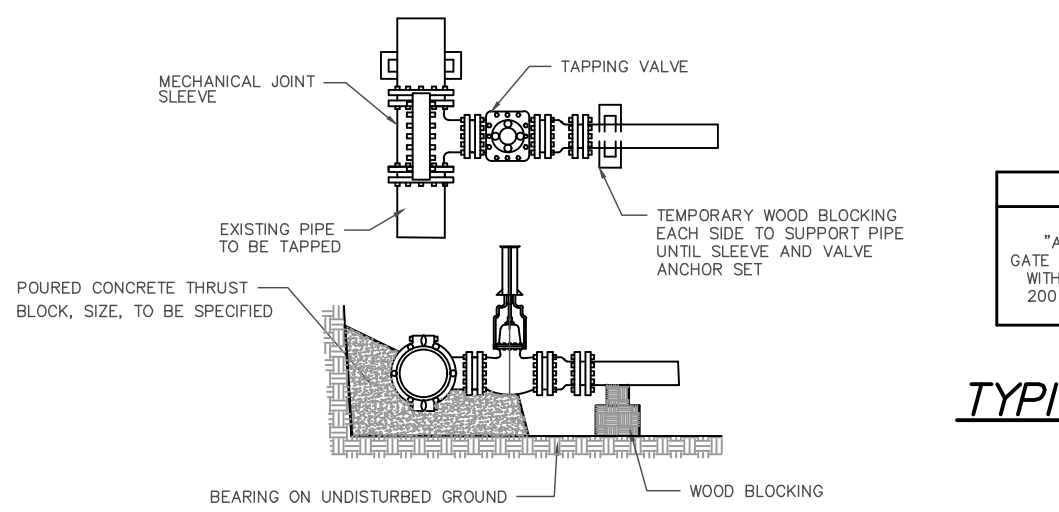


LOOPING WATER MAIN

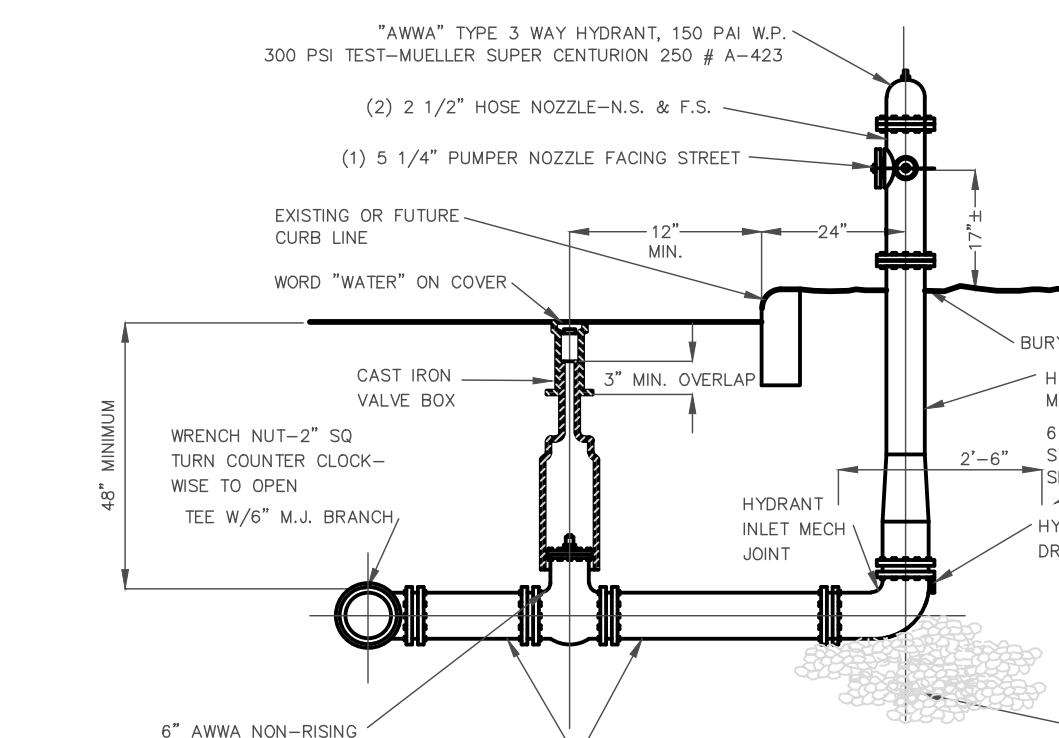
- GENERAL NOTES:**
- 1) ALL CONSTRUCTION SHALL MEET STANDARD DOT SPECIFICATIONS, THE LATEST EDITION.
 - 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.



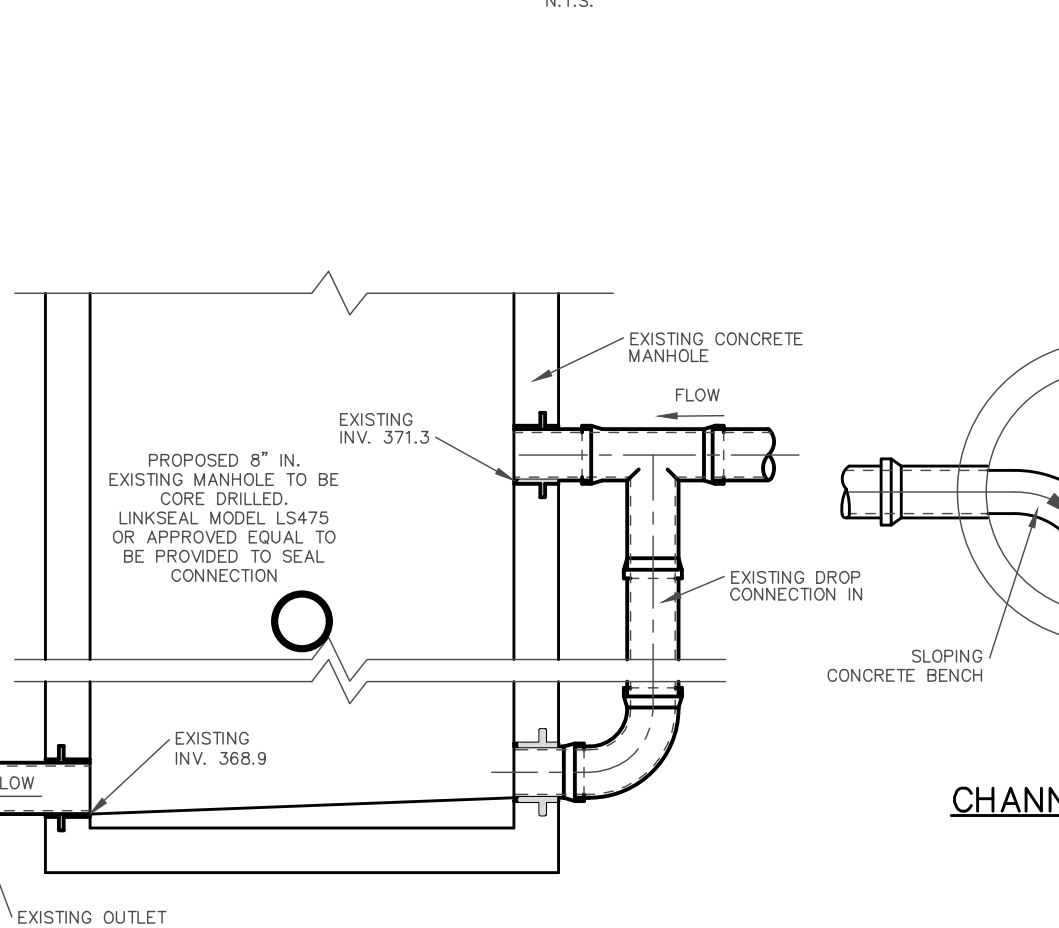
TYPICAL VALVE INSTALLATION



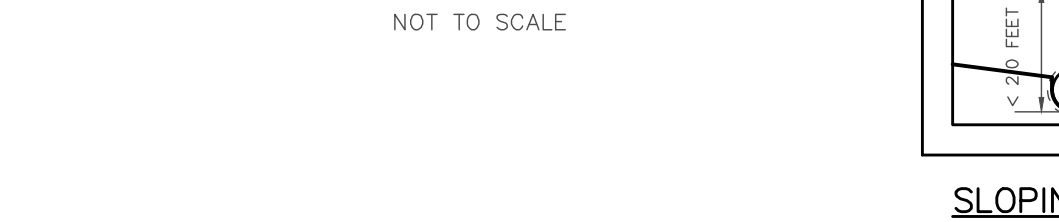
TAPPING VALVE AND SLEEVE ASSEMBLY



TYPICAL HYDRANT INSTALLATION



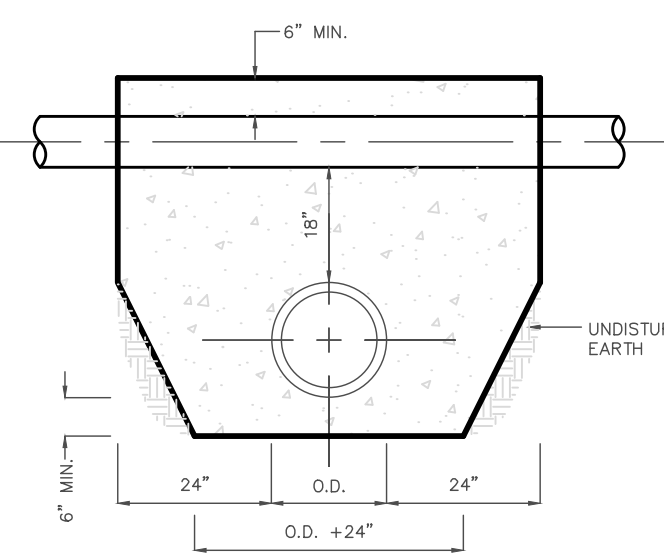
CONNECTION TO EXISTING SANITARY MANHOLE



SLOPING BENCH

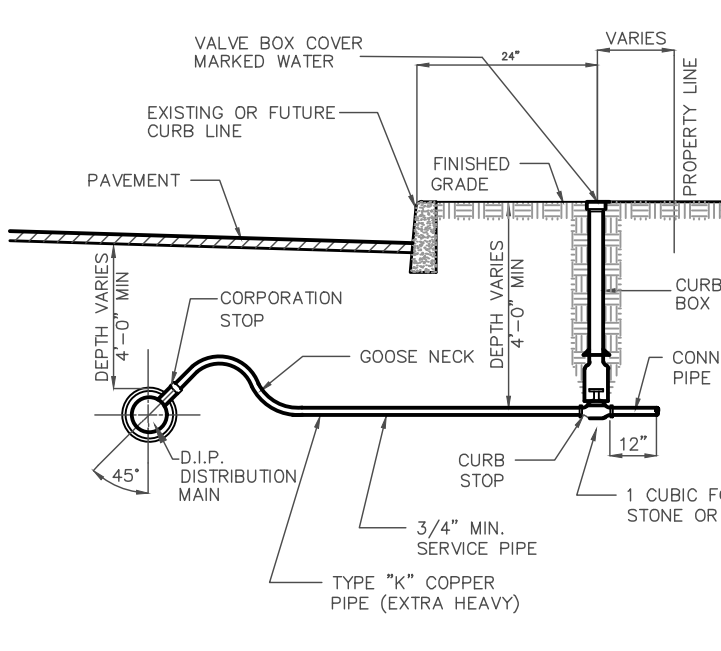


- NOTES:**
1. WATER MAIN MAY BE LOOPED ABOVE OBSTRUCTION, IF 48" MINIMUM COVER IS MAINTAINED ABOVE WATER MAIN.
 2. WATER MAIN MAY BE DUCTILE IRON CEMENT LINED PIPE ALL JOINTS SHALL BE MECHANICAL JOINT OR PUSH-ON AND ALL FITTINGS SHALL BE MECHANICAL JOINT CAST IRON.
 3. OFFSETS MAY BE SUBSTITUTED FOR A OR T UP TO 24" IF APPROVED BY THE ENGINEER.
 4. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS OR OTHER POINTS OF PIPE DIRECTION CHANGE.
 5. MINIMUM CLEARANCE BETWEEN OBSTRUCTING PIPE AND WATER MAIN SHALL BE 18" MINIMUM. CLEARANCE BETWEEN WATER MAIN AND OTHER OBSTRUCTIONS SHALL BE 6".
 6. 3/4" INCH TIE RODS SHALL BE UTILIZED TO RESTRAIN PIPE JOINTS. DETAILS OF THE TIE ROD ASSEMBLY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. TIE RODS SHALL BE SUFFICIENT TO RESTRAIN THE THRUST DEVELOPED AT 200 P.S.I. WORKING PRESSURE.
 7. NUMBER OF RODS REQUIRED:
3"-8" DIAMETER MAIN - 2 TIE RODS REQUIRED PER JOINT
10"-12" DIAMETER MAIN - 4 TIE RODS REQUIRED PER JOINT
14"-20" DIAMETER MAIN - 6 TIE RODS REQUIRED PER JOINT
24"-36" DIAMETER MAIN - 8 TIE RODS REQUIRED PER JOINT
42"-48" DIAMETER MAIN - 10 TIE RODS REQUIRED PER JOINT

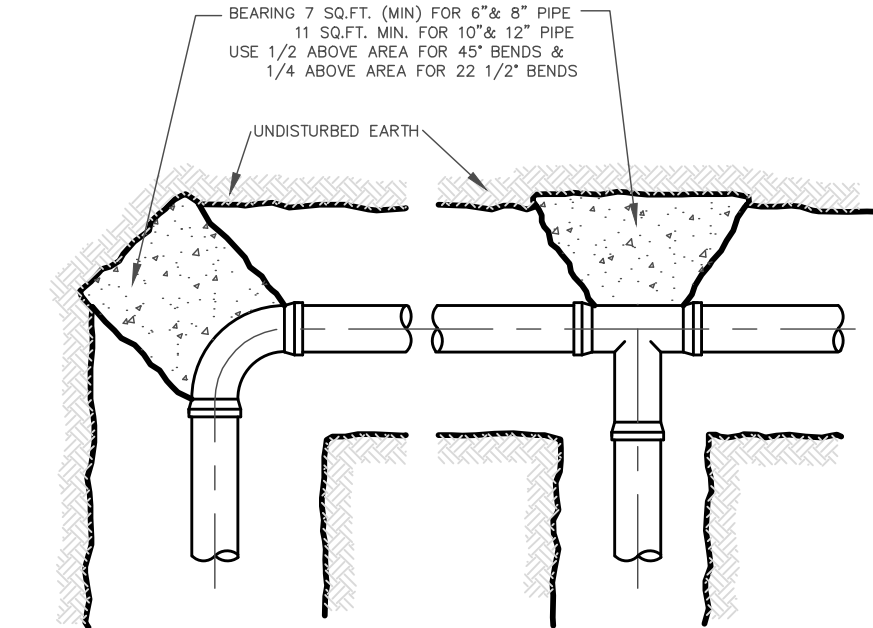


UTILITY CROSSING

- NOTE:**
1. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED IF DUCTILE IRON PIPE ACCORDING TO NJAC 7-14A.23.6(9)(4).
 2. ENCASEMENT OF LOWER PIPE TO BE CARRIED 24" IN EACH DIRECTION BEYOND THE WALLS OF THE UPPER CONDUIT.

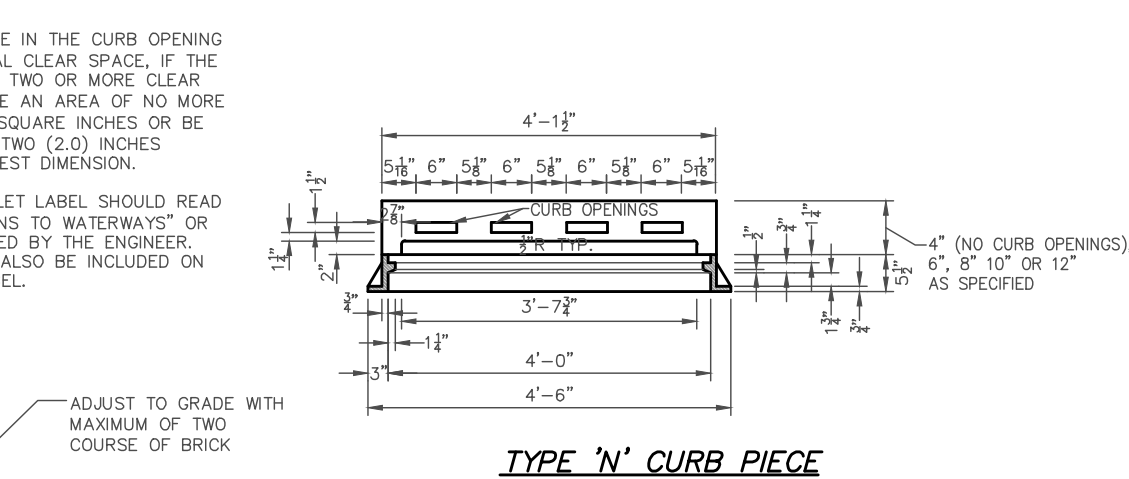


TYPICAL WATER SERVICE CONNECTION DETAIL

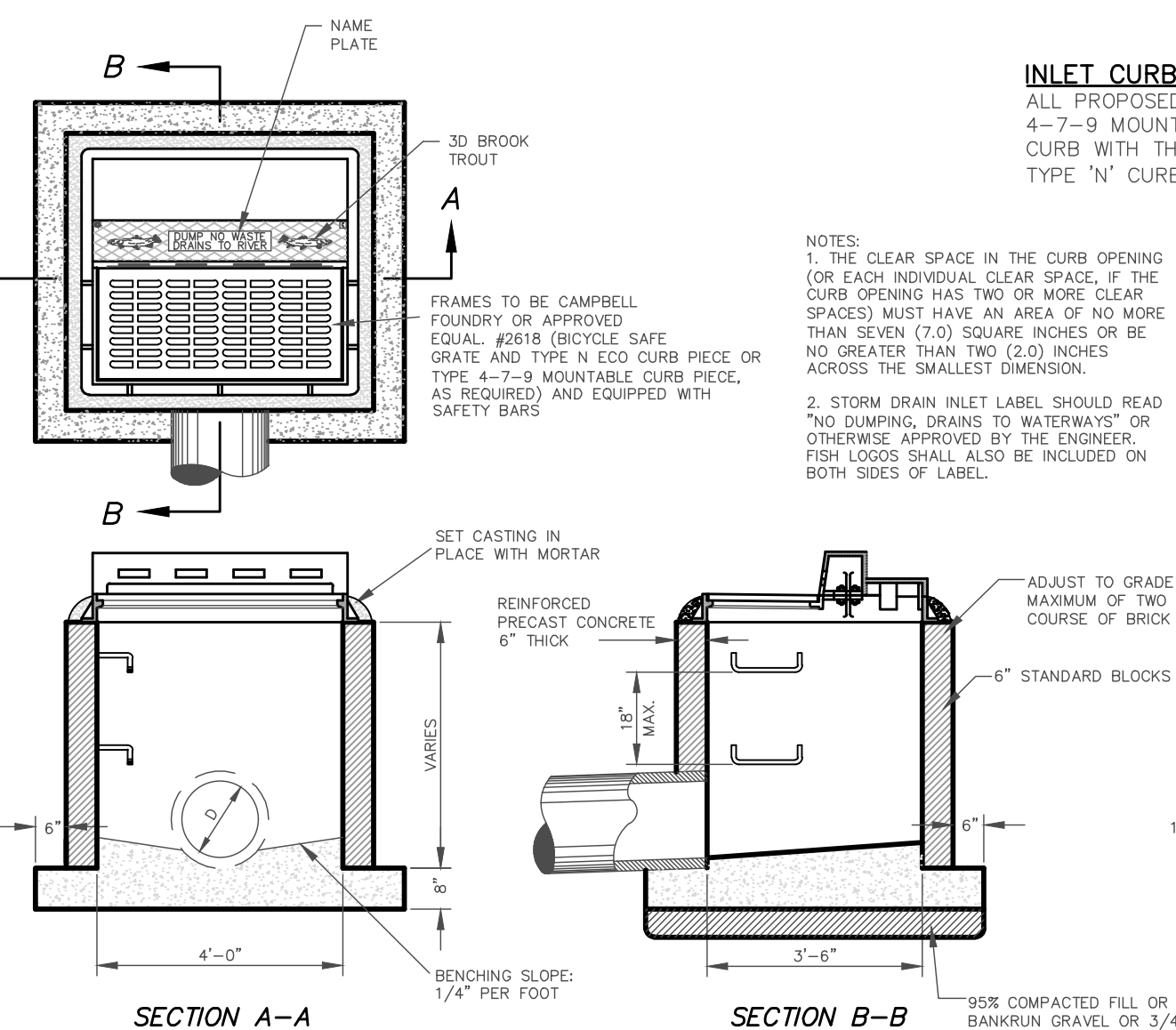


TYPICAL THRUST BLOCK INSTALLATION

- INLET CURB PIECE NOTE:**
- ALL PROPOSED INLETS WITH CURB PIECES SHALL BE PROVIDED WITH TYPE 4-7-9 MOUNTABLE CURB PIECE COMPATIBLE WITH SLOPING GRANITE BLOCK CURB WITH THE EXCEPTION OF ANGLED INLET #10 & 11 WHICH SHALL HAVE TYPE 'N' CURB PIECES.

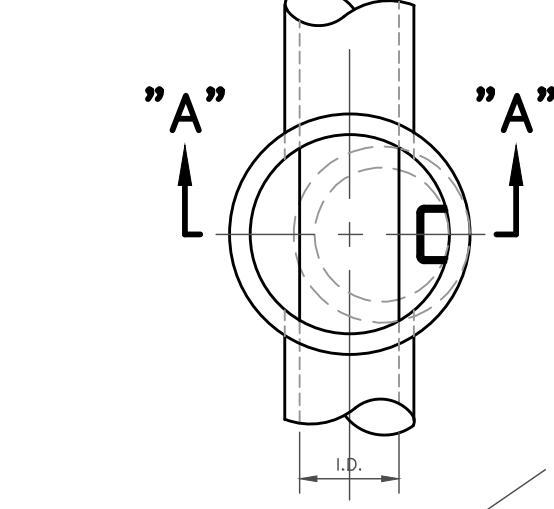
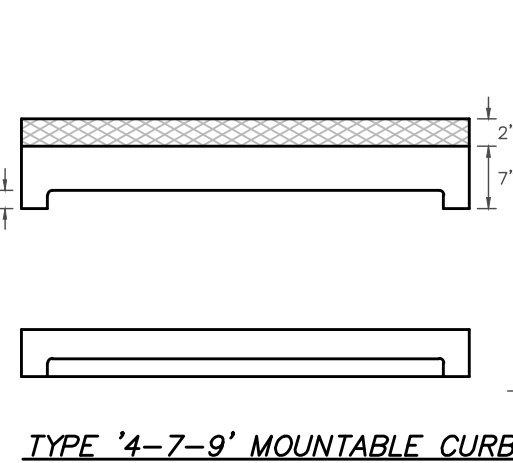


TYPICAL "END OF LINE" DETAIL



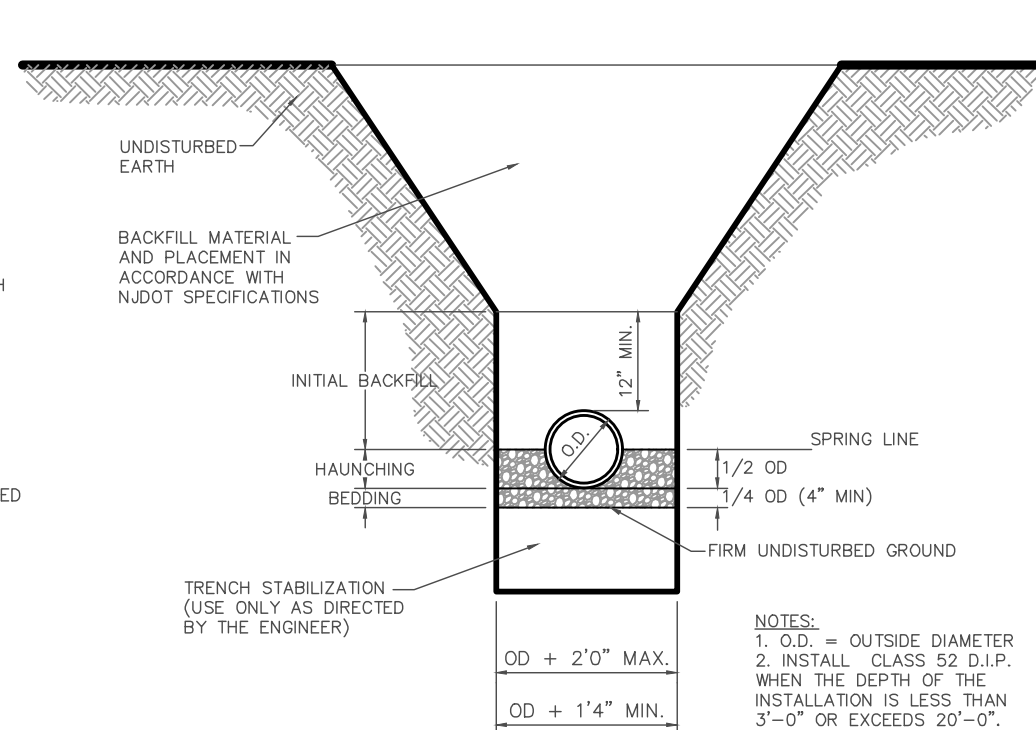
TYPE "B" INLET

TYPE '4-7-9' MOUNTABLE CURB

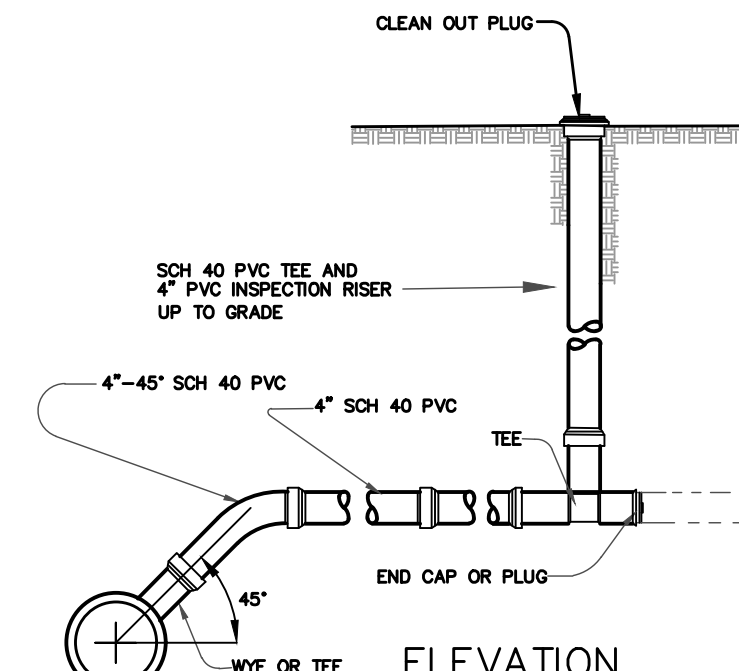


PRECAST STORM DRAINAGE MANHOLE

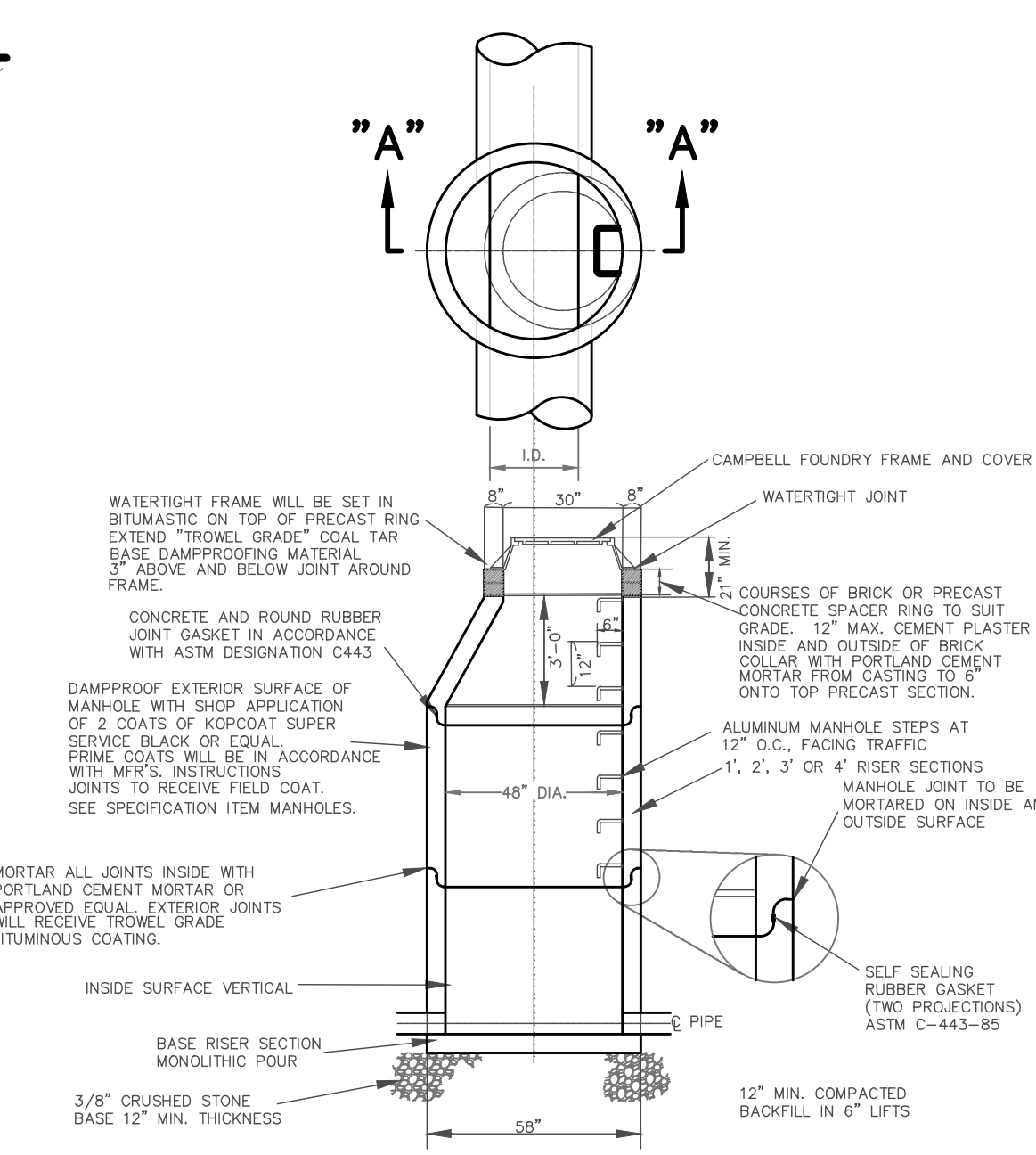
N.T.S.



TYPICAL SANITARY SEWER TRENCH DETAIL



TYPICAL SERVICE CONNECTION



PRECAST SANITARY SEWER MANHOLE

STANDARD MANHOLE

- STANDARD MANHOLE**
1. DAMPROOFING MATERIAL WILL BE TROWEL GRADE, COAL TAR BASE.
 2. PRECAST MANHOLES ARE TO CONFORM TO THE REQUIREMENTS OF PRECAST REINFORCED CONCRETE MANHOLE SECTIONS ASTM DESIGNATION C-478.
 3. BENCH AND CHANNEL WILL BE CONSTRUCTED IN FIELD USING CONCRETE BRICK AND MORTAR. EDGE OF BENCH WILL BE LEVEL WITH TOP OF PIPE.
 4. ALL PIPE OPEN JOINTS ARE TO BE FLEXIBLE COMPRESSION JOINTS. A CEMENT MORTAR JOINT WILL BE PERMITTED WHEN THE CONTRACTOR IS REQUIRED TO CONNECT TO AN EXISTING MANHOLE WHERE A STUB HAS NOT BEEN PROVIDED.
 5. DROP MANHOLE CONNECTIONS ARE TO BE DROP CONNECTIONS.
 6. WHERE DETAILS ARE NOT SHOWN ON DROP MANHOLE, SHALLOW MANHOLE OR WATERTIGHT MANHOLE, REFER TO STANDARD MANHOLE FOR DETAILS.
 7. MANHOLE FRAMES AND COVERS ARE TO BE SET AT THE SAME ELEVATION WITH TOP OF PIPE.
 8. DROP MANHOLE WILL BE PROVIDED WHEN THE DIFFERENCE IN ELEVATION BETWEEN THE INLET AND THE OUTLET IS 2'-0" OR GREATER.

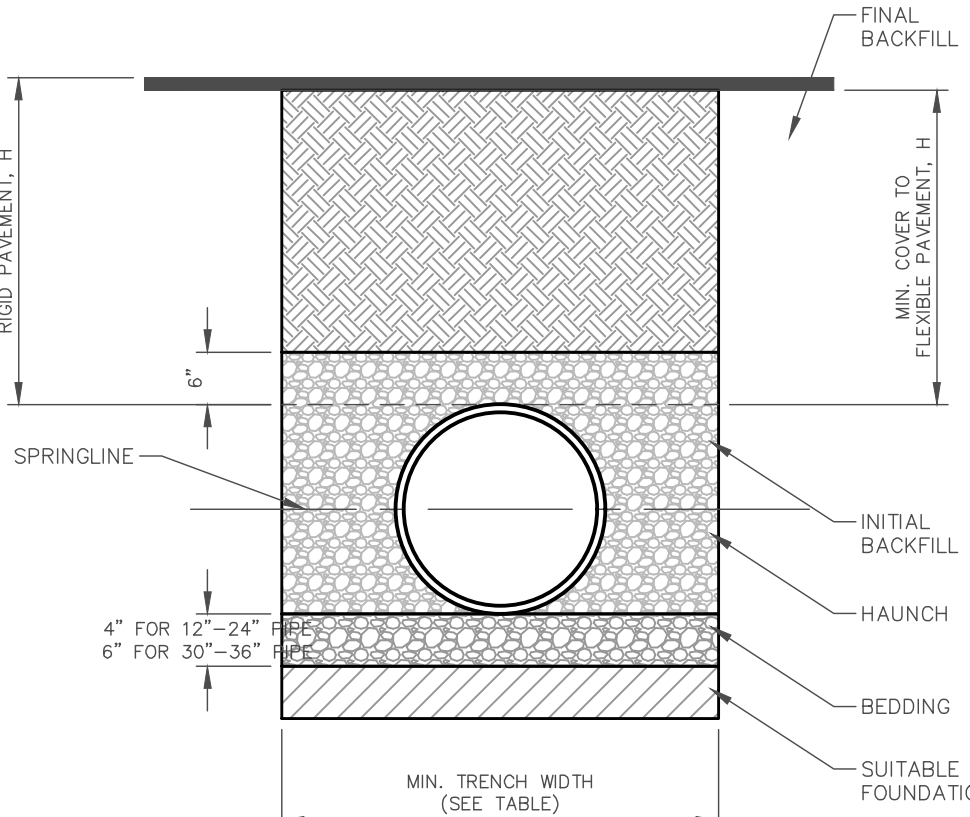
MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	H-25 SURFACE LIVE LOAD CONDITION (75T AXLE LOAD)*	MIN. COVER TO FLEXIBLE PAVEMENT, H
12"-48"	12"	48"
54"-60"	24"	60"

*VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"



NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24", 6" FOR 30"-60".
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION, FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF PAVEMENT OR TO TOP OF ROAD PAVEMENT.

HDPE PIPE BEDDING DETAIL

NOT TO SCALE

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CONSTRUCTION NOTES & DETAILS

PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN

BLOCK 407, LOT 1 - #180 ANN STREET
BLOCK 407, LOT 20 - #220 ANN STREET
TOWN OF DOVER
MORRIS COUNTY NEW JERSEY

DW

SCALE: AS NOTED

JOB NO.: 15107

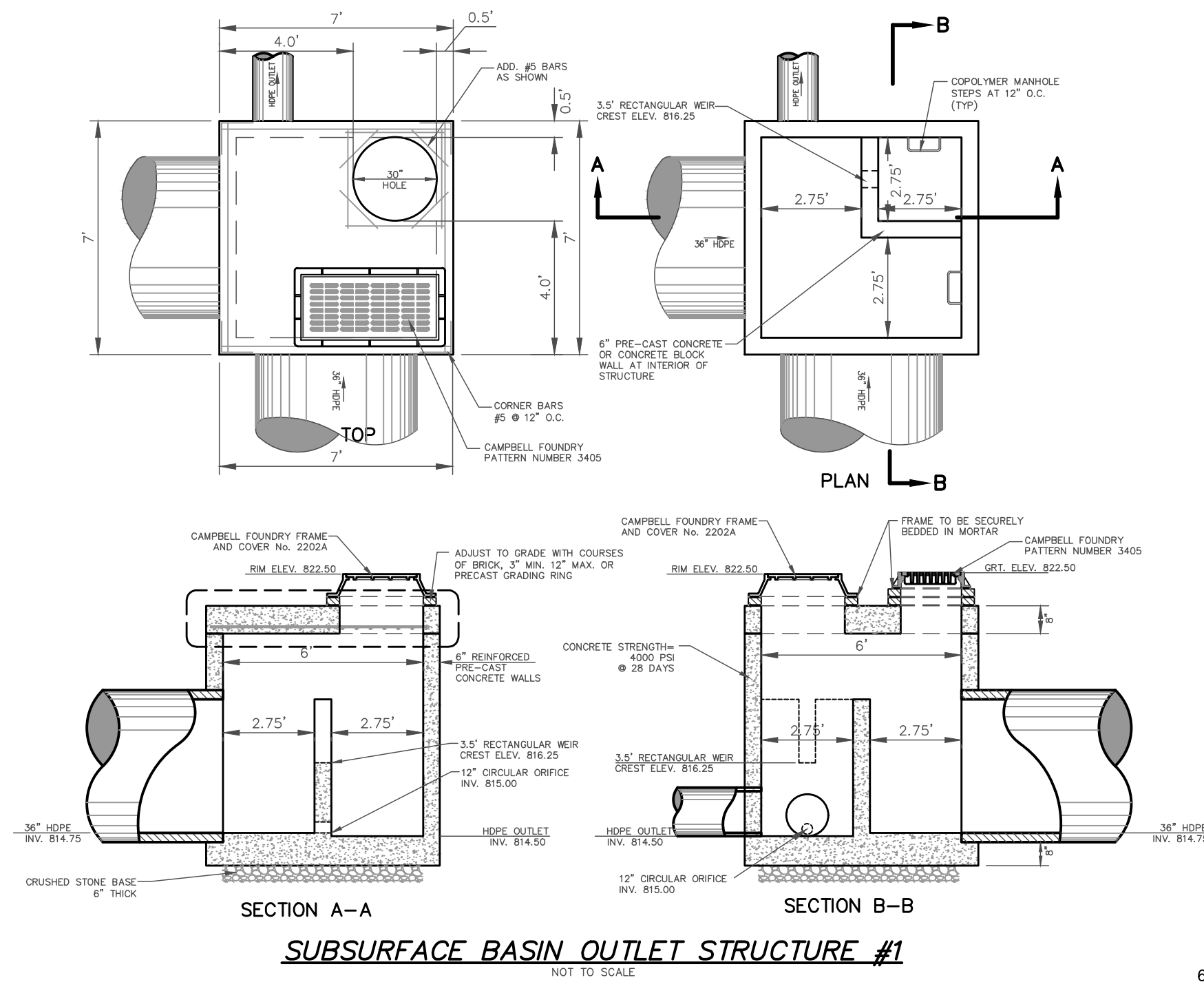
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DATE: 7/6/26

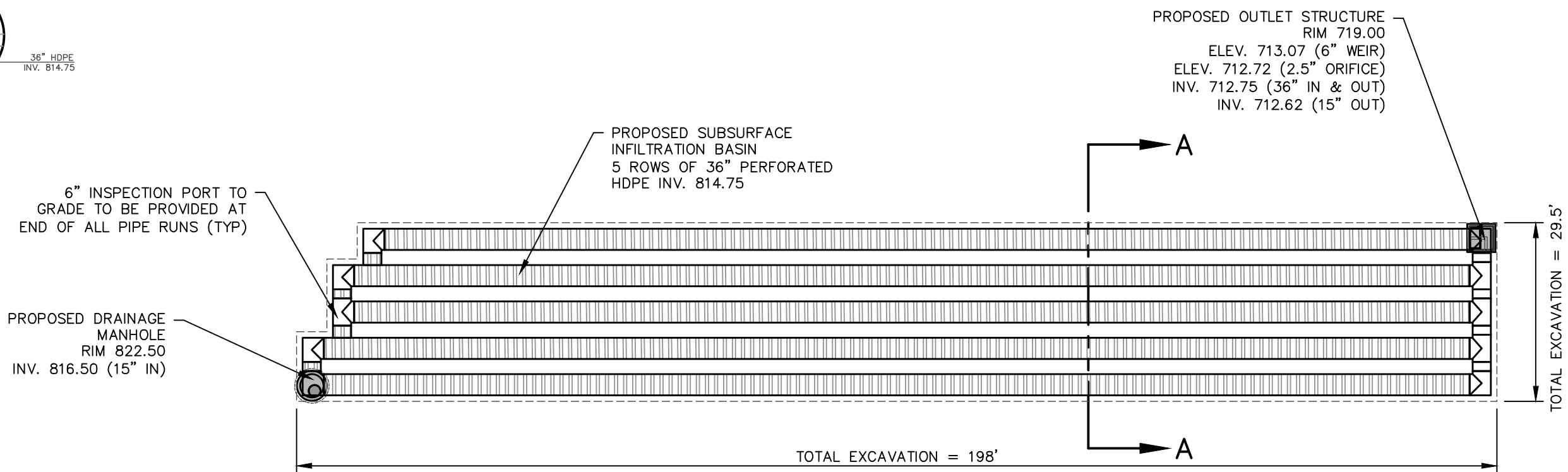
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INFILTRATION BASIN CONSTRUCTION NOTES:

1. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN.
2. THE LOCATION OF THE PROPOSED INFILTRATION BASIN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.
3. THE USE OF THE LOCATION PROPOSED FOR AN INFILTRATION BASIN TO PROVIDE SEDIMENT CONTROL DURING CONSTRUCTION IS DISCOURAGED; HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE SEDIMENT CONTROL BASIN MUST BE AT LEAST TWO (2) FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BASIN BOTTOM.
4. EXCAVATION AND CONSTRUCTION OF AN INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
5. THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE INFILTRATION BASIN BOTTOM MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF THE INFILTRATION BASIN CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED AND THE AREA IS STABILIZED.
6. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO INFILTRATION BASIN USE.
7. POST-CONSTRUCTION TESTING MUST BE PERFORMED ON THE AS-BUILT INFILTRATION BASIN IN ACCORDANCE WITH THE "CONSTRUCTION AND POST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY" SECTION IN APPENDIX E OF THE NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL. WHERE AS-BUILT TESTING SHOWS A LONGER DRAIN TIME THAN DESIGNED, CORRECTIVE ACTION MUST BE TAKEN. THE DRAIN TIME IS DEFINED AS THE TIME IT TAKES TO FULLY INFILTRATE THE MAXIMUM DESIGN STORM RUNOFF VOLUME THROUGH THE MOST HYDRAULICALLY RESTRICTIVE LAYER.
8. POST-CONSTRUCTION HYDRAULIC CONDUCTIVITY TESTING IN ACCORDANCE WITH CHAPTER 12 OF THE NJ STORMWATER BMP MANUAL, SUBSECTION 4B, WILL BE REQUIRED.

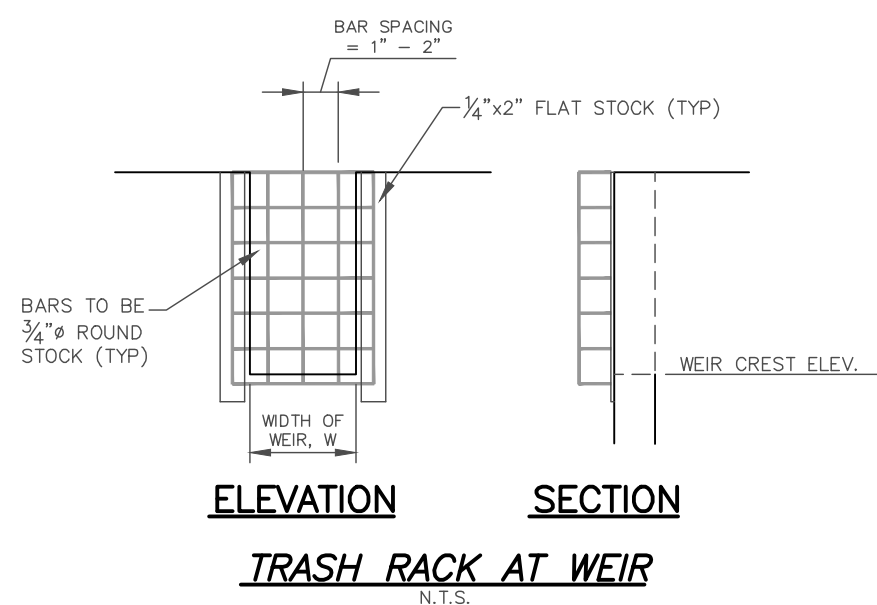
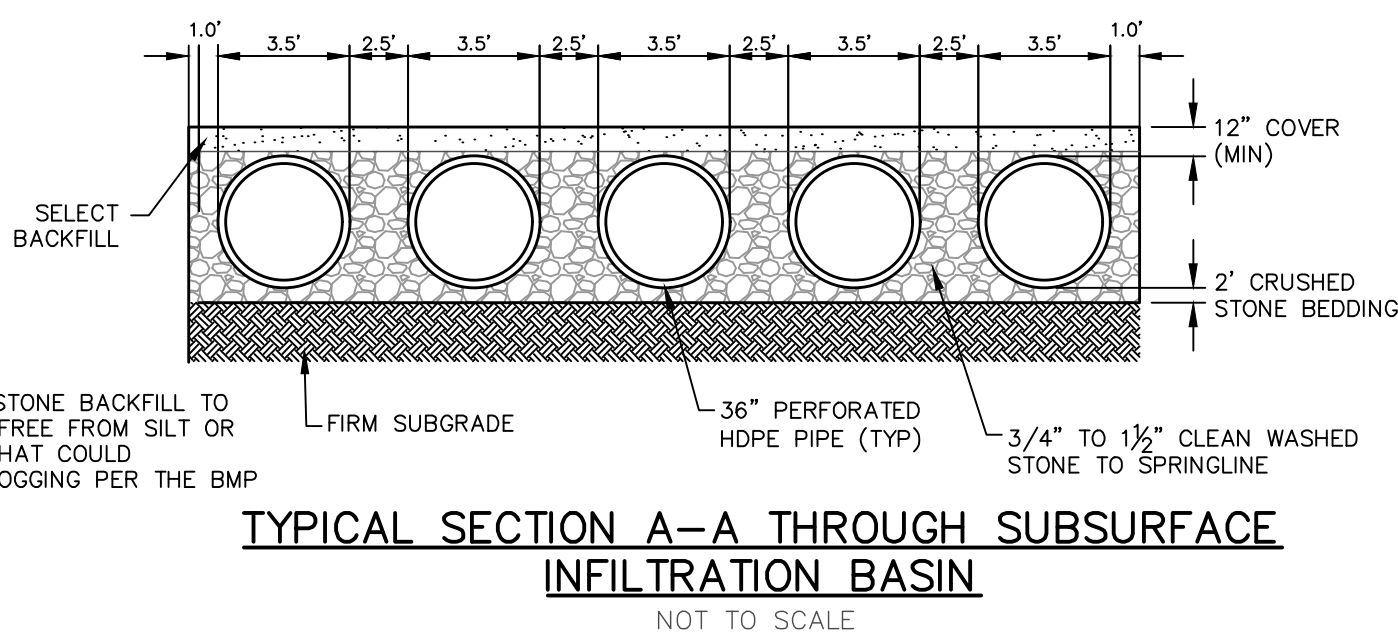


GENERAL NOTES:

1. HDPE PIPE JOINTS SHALL BE BELL AND SPIGOT WITH "O" RING GASKETS TO FORM A WATER TIGHT SEAL.
2. RUBBER GASKETS SHALL BE USED AT ALL CONNECTIONS TO MANHOLES AND OUTLET STRUCTURES TO FORM A WATER TIGHT SEAL.
3. ALL MANHOLE STRUCTURES AT SUBSURFACE BASINS SHALL HAVE LOCKING COVERS.

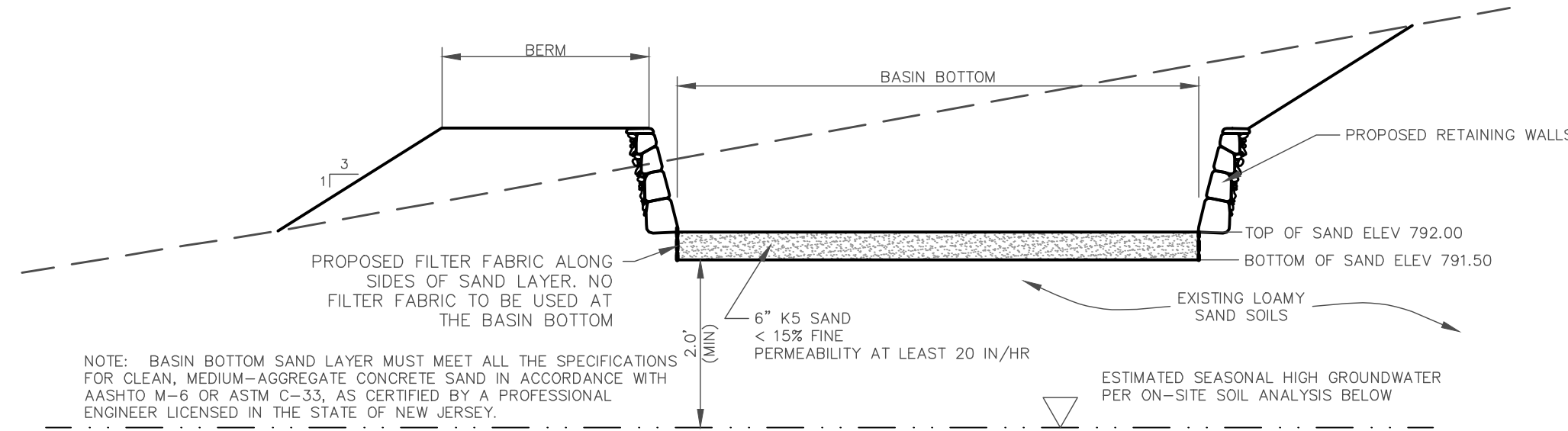
PROPOSED SUBSURFACE INFILTRATION BASIN #1 (PLAN VIEW)

NOT TO SCALE



TRASH RACK NOTES:

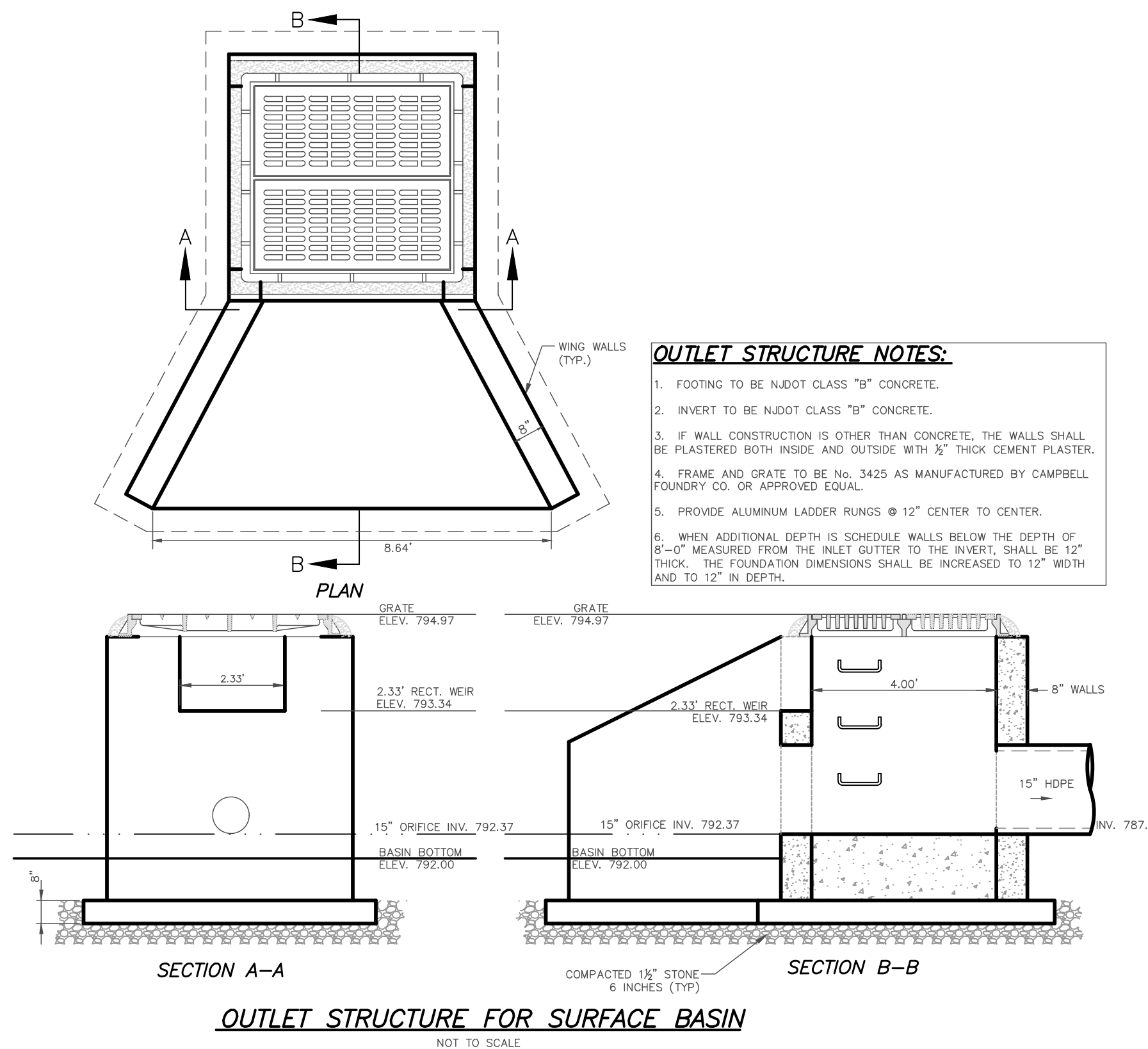
1. TRASH RACKS SHALL BE INSTALLED AT ALL INTAKE LOCATIONS OF THE OUTLET STRUCTURE (WEIR, ORIFICE, ETC.).
2. PARALLEL BARS BELOW THE WATER QUALITY DESIGN ELEVATION SHALL BE 1" ON-CENTER.
3. PARALLEL BARS ABOVE THE WATER QUALITY DESIGN ELEVATION SHALL BE NO GREATER THAN 3/4 THE WIDTH OF THE WEIR, AND 3/4 THE DIAMETER OF THE ORIFICE. IN NO CASE SHALL THE SPACING BE LESS THAN 1" OR GREATER THAN 6".
4. TRASH RACK SHALL BE CONSTRUCTED OF RIGID, CORROSION-RESISTANT MATERIAL.
5. TRASH RACK SHALL BE ABLE TO WITHSTAND A PERPENDICULAR LIVE LOAD OF 300 LBS/SQ. YD. SHOP DRAWINGS SHALL BE PROVIDED TO DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



SURFACE INFILTRATION BASIN SECTION

NOT TO SCALE

*ESTIMATED SEASONAL HIGH WATER TABLE DEPTHS WERE BASED ON DIRECT OBSERVATION OF SEEPAGE/GROUNDWATER WHERE OBSERVED OR ESTIMATED IN THE FIELD BY DESIGN ENGINEER TAKING INTO CONSIDERATION SOIL CONDITIONS, TOPOGRAPHY, ROOT DEPTH, ETC.



OUTLET STRUCTURE NOTES:

1. FOOTING TO BE NUDOT CLASS "B" CONCRETE.
2. INVERT TO BE NUDOT CLASS "B" CONCRETE.
3. IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
4. FRAME AND GRATE TO BE NO. 3425 AS MANUFACTURED BY CAMPBELL FOUNDRY CO. OR APPROVED EQUAL.
5. PROVIDE ALUMINUM LADDER RUNGS 12" CENTER TO CENTER.
6. WHEN ADDITIONAL DEPTH IS SCHEDULED BELOW THE DEPTH OF 6'-0" MEASURED FROM THE INLET OUTER TO THE INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSIONS SHALL BE INCREASED TO 12" WIDTH AND TO 12" IN DEPTH.

		DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 • LAKE HOPATCONG, NJ 07849 PHONE (973) 663-4544 • FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM	CONSTRUCTION NOTES & DETAILS PRELIMINARY & FINAL MAJOR SUBDIVISION PLAN BLOCK 407, LOT 1 - #180 ANN STREET BLOCK 407, LOT 20 - #220 ANN STREET TOWN OF DOVER MORRIS COUNTY NEW JERSEY	
DATE	REVISION			
		MARC G. WALKER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03640900		SCALE: AS NOTED JOB NO.: 15107 DRAWN BY: JY CHECKED BY: MGW DATE: 7/6/26 SHEET NO. 17 OF 17