



Redevelopment Plan
Block 703, Lot 6.01, formerly part of, and also known as Lot 6
Town of Dover, Morris County, New Jersey

August 10, 2026



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The original of this document was signed and sealed in
accordance with New Jersey Law.

Adopted by Ordinance by Mayor and Council on 2nd Reading and Public Hearing held on _____, 2026.

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I. Acknowledgements

Mayor and Council

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Sandra Wittner, Council Member - First Ward
Judy Rugg, Council Member - Second Ward
Geovani Estacio, Council Member - Second Ward
Christopher Almada, Council Member - Third Ward
Veronica Velez, Council Member - Third Ward
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Town of Dover

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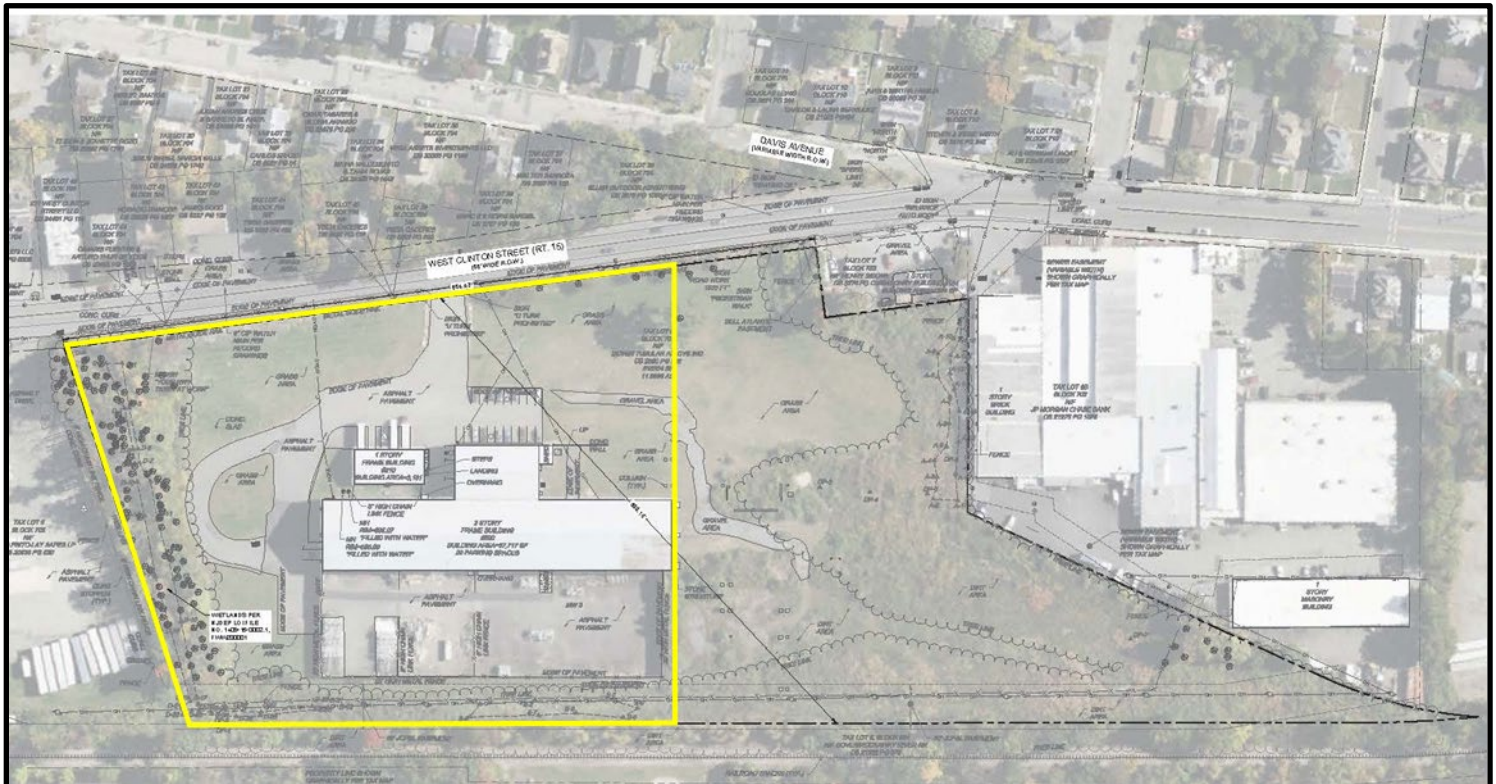
Town & Board Professionals

Dean Donatelli, Esq. – Town Redevelopment Attorney
William J. Rush Esq. – Planning Board Attorney
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II. Introduction

This Redevelopment Plan was developed to provide the development regulations for a specific piece of property known on the Town of Dover Tax Maps as Block 703, Lot 6.01, formerly part of, and also known as Lot 6, (hereinafter, "Plan Area"). Via Resolution No. 133-2026 (see **Appendix A**), the Town Council of the Town of Dover designated Block 703, Lot 6.01, a non-condemnation "area in need of redevelopment" under the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq., which designation authorizes the Town to use all those powers provided under the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq., except that such determination shall not permit the Town to exercise the power of eminent domain to acquire all or any portion of the properties. The Plan Area delineation can be found in Map 1 below, a full version can be found in **Appendix B**).

Map 1: Plan Area Delineation (Plan Area in Yellow)



Map Source – Ware Malcom – 7/2/2026

The Study Area is an interior parcel with 854.43 feet of frontage on West Clinton Street (NJSH Rt. 15). It measures 6.632 acres as per the filed subdivision plat.

III. Redevelopment Plan Requirements

Pursuant to Section 40A:12A-7 of the LRHL, redevelopment plans shall include an outline for the planning, development, redevelopment, or rehabilitation of the project area sufficient to indicate the following:

- (1) The plan relationship to definite local objectives as to appropriate land uses, density of population and improved traffic and public transportation, public utilities, recreational and community facilities and other public improvements.
- (2) Proposed land uses and building requirements in the Redevelopment Area.
- (3) Adequate provisions for the temporary and permanent relocation, as necessary, of residents in the area.
- (4) An identification of any property within the redevelopment area, which is proposed to be acquired in accordance with the redevelopment plan.
- (5) Any significant relationship of the redevelopment plan to (a) the master plans of contiguous municipalities; (b) the master plan of the county in which the municipality is located; (c) the State Development and Redevelopment Plan adopted pursuant to the “State Planning Act”, P.L. 1985, c398 (C.52:18A-196 et al.)
- (6) An inventory of all housing units affordable to low and moderate income households, as defined pursuant to section 4 of P.L.1985, c.222 (C.52:27D-304), that are to be removed as a result of implementation of the redevelopment plan, whether as a result of subsidies or market conditions
- (7) A plan for the provision, through new construction or substantial rehabilitation of one comparable, affordable replacement housing unit for each affordable housing unit that has been occupied at any time within the last 18 months, that is subject to affordability controls and that is identified as to be removed as a result of implementation of the redevelopment plan. Displaced residents of housing units provided under any State or federal housing subsidy program shall have first priority for those replacement units provided under the plan. To the extent reasonably feasible, replacement housing shall be provided within or in close proximity to the redevelopment area.
- (8) The redevelopment plan may include provisions of affordable housing in accordance with the “Fair Share Housing Act” P.L. 1985, c.222 (C.52:27D-301 et al.) and the housing element of the municipal master plan.
- (9) Description of the plan relationship to pertinent municipal development regulations as defined in the “Municipal Land Use Law” (MLUL). The plan shall supersede applicable provisions of the development regulations of the municipality or constitute an overlay zoning district within the redevelopment area.
- (10) All provisions of the redevelopment plan shall be either substantially consistent with the municipal master plan or designed to effectuate the master plan.

IV. Goals & Objectives of the Plan

The intent and purpose of this Redevelopment Plan is to promote the development of the Plan Area in accordance with the following goals and objectives:

1. To encourage municipal action to guide the appropriate use or development of all lands in this State, in a manner which will promote the public health, safety, morals, and general welfare.
2. To promote the establishment of appropriate population densities and concentrations that will contribute to the well-being of persons, neighborhoods, communities and regions and preservation of the environment.
3. To provide sufficient space in appropriate locations for a variety of commercial and industrial uses in order to meet the needs of all New Jersey citizens.
4. To promote a desirable visual environment through creative development techniques and good civic design and arrangements.
5. To create non-residential land uses to provide tax ratables and employment opportunities for Dover residents.
6. To foster the remediation of a site under NJDEP oversight.

V. Land Development Regulations

A. General Regulations

1. The regulations set forth shall supersede any or all prior redevelopment plans and/or rehabilitation plans pertaining to this site and the Town of Dover Land Use and Development Ordinance Chapter 236.
2. Upon demonstration by the Redeveloper that such requests are not detrimental to the Redevelopment Plan or public good, the Planning Board may grant deviations or exceptions to the requirements of this Redevelopment Plan, excluding the permitted uses and building height in excess of ten (10) percent.

B. Use, Bulk & Design Regulations

1. Permitted Principal Uses:

- a. Warehouses and warehouse distribution buildings.
- b. Indoor recreation.
- c. Research laboratories.
- d. Light manufacturing and assembly.
- e. Buildings used exclusively by federal, state, county or local government.
- f. Office uses in conjunction with any of the permitted principal uses.

2. Permitted Accessory Uses:

- a. Fences, street furniture, and retaining walls.
- b. Off-street parking.
- c. Utilities, including rooftop solar panels, small wind energy systems and electric charging stations.
- d. Heating, ventilation, and air conditioning equipment, on the roof only.
- e. Refuse and recycling areas located within or outside of the building.
- f. Loading areas.
- g. Utility and mechanical rooms.
- h. Indoor or outdoor recreation for uses by the employees only. Such rooms shall not be rented or used by the general public. This provision does not apply to an indoor recreation use that is open to the public.

- i. Cellular communications mounted on the roof of the building, subject to any applicable Town ordinance.
- j. ADA ramps.
- k. Vending machines, located within the building only.
- l. Security guard booths.
- m. Stormwater management facilities.
- n. Building mounted, freestanding and wayfinding signage.
- o. Generators located in the rear yard that meet all applicable State noise standards.

3. Prohibited Uses:

- a. Any principal or accessory use not listed above.

4. Bulk Requirements:

- a. Minimum Lot Area: 6 acres before any potentially required ROW dedications.
- b. Minimum Lot Width: 600 feet
- c. Maximum Building Height: 50 feet
- d. Minimum Front Yard Setback: 60 feet
- e. Minimum Rear Yard Setback: 150 feet
- f. Minimum Side Yard Setback: 60 feet
- g. Minimum Combined Side Yard Setback: 120 feet
- h. Maximum Building Coverage: 40%
- i. Maximum Impervious Coverage: 75%
- j. Maximum Sq. Ft. of Office Area: 15,000 sq. ft.
- k. Minimum Distance Between Parking Lots & Property Lines: 10 feet

5. Parking & Loading

- a. Off-Street Parking: One (1) off-street parking space shall be provided per every 1,250 sq. ft. of building area.

- b. Loading: One (1), loading dock shall be provided for every 10,000 sq. ft. of building area.
- c. Loading areas shall be located in the rear yard only.
- d. Off-street parking areas may be located in any yard, but shall be screened with continuous landscaping, which may include a combination of ground cover, shrubs and trees adequate to shield the parking from view.

6. Building Design Standards

- a. All building façades shall be designed to be attractive from each vantage point and be consistent in their quality and finish on all elevations.
- b. The buildings shall be designed in a manner that is complementary to the area.
- c. Overly bright, garish colors are to be avoided. Generally, one or two colors should be selected. The base color is the predominant color applied to the walls and major surfaces. Accent color is used for trim, hardware, doors, etc. The use of too many colors should be avoided.
- d. High quality durable materials shall be incorporated into the façade along street frontages.
- e. Primary exterior building materials shall be wood, brick stone, stucco, metal glass, concrete panels or other similar durable materials. Aluminum siding, vinyl siding, EIFS, artificial stone, brick veneer, thin brick and ply gem shall be prohibited.
- f. All buildings shall be designed to front on streets in order to create a street wall consistent with good urban form and design principles. Buildings shall be oriented towards the street so as to contribute to the overall liveliness of the pedestrian environment, particularly where building lots front on multiple streets.
- g. Entrances shall be designed to be attractive and functional. Indicators such as awnings, storefront windows, changes in sidewalk paving materials, changes in height incorporating stairs, or any other indicator consistent with the design, proportions, material and character of the adjacent areas shall be encouraged.
- h. Additional features such as canopies, awnings, and cornices are encouraged to create a sense of place.
- i. Any building submitted for approval to the Planning Board shall have an appearance substantially consistent with the rendering provided with the conceptual site plans, conceptual architectural elevations and building rendering found in **Appendix B**, **Appendix C**, and **Appendix D**.

7. Landscaping Standards

- a. A landscape plan shall be provided that is signed and sealed by a New Jersey licensed architect, planner, engineer, or landscape architect.

- b. The landscape plan shall be subject to review and approval by the Town's consulting landscape architect, engineer or planning staff/consultant, and further provided that same may seek input from an arborist and/or shade tree commission.
- c. Street or site trees shall be hardy, native or native adaptive species that are drought tolerant and able to thrive in an urban environment.
- d. Plantings such as shrubs, flowers, or trees shall be used to accent entrances, street frontages and parking areas. Such accent plantings shall be hardy, native or native adaptive species that are drought tolerant and able to thrive in an urban environment.
- e. All plantings shall be maintained by the Redeveloper and subsequent property owners. Publicly accessible areas and areas within view of the public right-of-way shall be maintained with automated watering systems to be furnished and maintained by the Redeveloper and subsequent property owners.
- f. Plant material installed shall be guaranteed by the Redeveloper for a period of two years.
- g. A planting schedule shall be provided by the Redeveloper and approved by the Planning Board.
- h. All island areas in the parking lot shall be landscaped.

8. Lighting

- a. General. All outdoor lighting, excepting street lighting, should be coordinated as to style, material and color. All exterior lighting shall be designed, located, installed and directed in such a manner to prevent objectionable light at and across property lines.
- b. Street lighting. Street lighting, if required, shall conform to the Town of Dover municipal street lighting standards or as approved by the Planning Board or Town Engineer.
- c. The Redeveloper may incorporate decorative lighting into the design of the building that is arranged in a manner to provide for a creative and artful effect.
- d. All building and site lighting shall meet all applicable Town of Dover regulations.

9. Signs

- a. Facade Signage. Two (2) façade signs each measuring no greater than five (5) feet by ten (10) feet shall be permitted on the front façade elevation. If illuminated, façade signs shall be externally illuminated or illuminated with back-lit channel or halo letters.
- b. Freestanding Sign. A freestanding monument sign measuring no greater than five (5) feet by ten (10) feet shall be permitted in the front yard setback. The sign shall be permitted to have a decorative base. The overall sign height shall not exceed 8.5 feet. The sign shall be set back a minimum of five (5) feet from the public right-of-way and shall not be located in any required sight triangle. Freestanding signs shall be externally illuminated.

- c. Directional Signs. Directional signs no greater than six (6) sq. ft. shall be permitted. The maximum height shall be no more than four (4) feet.

10. Additional Standards

- a. Trash and Recycling. Trash, recycling and waste removal shall be performed by a private hauler contracted by the Redeveloper or building owner. All trash, recycling and refuse storage shall be fully enclosed and screened within the building or, if outside, within a minimum 6' enclosure of masonry construction on three (3) sides of said enclosure. The masonry enclosure and access gate shall match or complement the principal building. The gate shall be of a solid and decorative material, chain link is not permitted.
- b. Stormwater management. A storm water management plan and stormwater calculations shall be prepared for review and approval by the Town/Board Engineer. Such plan shall comply with the Town's stormwater management ordinance and NJDEP rules and regulations. The Plan Area may share stormwater management systems with adjacent properties subject to site plan approval and provisions set forth in the Redeveloper Agreement.
- c. Water and sanitary sewer utility extensions as approved by the Town Engineer, PVSC, and NJDEP shall be provided, if required.
- d. The designated Redeveloper shall operate and maintain any newly installed sanitary, storm water and water utilities in the Redevelopment Area including connections to the municipal systems.
- e. If it is determined that the equipment will be visible from the public right-of-way, all mechanical equipment serving the buildings shall be placed on the roof of the building. This equipment shall be screened in a manner consistent with the architecture of the building and shall utilize the same material used in construction of the building such that screening appears to be integral part of the building.
- f. All mechanical equipment, generators. HVAC equipment, and similar equipment shall be acoustically buffered such that any noise generated shall be within the applicable standards as defined by the State of New Jersey.
- g. The hours of operation of any use shall be between 5:00AM to 11:00PM. Any business desiring to operate between the hours of 11:00 p.m. and 5:00 a.m. on a regular basis or on a limited basis due to exceptional circumstances may apply to the Town Council for a waiver of the limitation on hours of operation contained in this chapter. The Council may grant a waiver of the limitation on hours of operation if they find that the business can be open between the hours of 11:00 p.m. and 5:00 a.m. without disrupting the peace and tranquility or compromising the public safety of the residents of the Town of Dover.
- h. Redeveloper shall install sidewalks and landscaping along the W. Clinton St. frontage (either on the property or within the right-of-way) at the Redeveloper's sole cost. Any improvements shall meet all requirements of the Town of Dover, County of Morris and State of New Jersey.

- i. Emergency management access (police, fire, paramedic, etc.) shall be provided, together with the necessary access granted for emergency management events. Access to security cameras shall be provided to the Police Department. Knox boxes or similar devices shall be provided in locations acceptable to the applicable Department.

VI. Relationship to Planning Policies

Pursuant to the requirements of Section 7 of the LRHL, “[a]ll provisions of the redevelopment plan shall be either substantially consistent with the municipal master plan or designed to effectuate the master plan.”

Further, the redevelopment plan should identify “[a]ny significant relationship of the redevelopment plan to (a) the master plans of the contiguous municipalities, (b) the master plan of the county in which the municipality is located, and (c) the State Development and Redevelopment Plan adopted pursuant to the State Planning Act, N.J.S.A. 52:18A-196 et seq.” (The “SDRP”). This redevelopment is substantially consistent with the plans of the municipality, other contiguous municipalities, the county and the SDRP as follows:

A. Town of Dover Master Plan

The Town of Dover adopted a new Master Plan in January 2007, however, there were two (2) prior Master Plan reexaminations of the original Master Plan, which were conducted on November 22, 1993 and October 27, 1999. The Town’s Master Plan incorporates the general purposes of the Municipal Land Use Law (“MLUL”) as set forth in §40-55D-2 and enumerates a number of specific goals and objectives which form the basis for the plan’s land use recommendations. Those objectives that are pertinent to the Redevelopment Area are as follows:

1. To encourage municipal action to guide the appropriate use or development of all lands in this State, in a manner which will promote the public health, safety, morals, and general welfare;
2. To secure safety from fire, flood, panic and other natural and man-made disasters;
3. To provide adequate light, air, and open space;
4. To ensure that the development of individual municipalities does not conflict with the development and general welfare of neighboring municipalities;
5. To promote the establishment of appropriate population densities and concentrations that will contribute to well-being of persons, neighborhoods, communities and regions and preservation of the environment.
6. To provide sufficient space in appropriate locations for a variety of agricultural, residential, recreational, commercial and industrial uses and open space, both public and private, according to their respective environmental requirements in order to meet the needs of all New Jersey citizens;
7. To promote the desirable visual environment through creative development techniques and good civic design and arrangement;
8. To encourage planned unit developments which incorporate the best features of design and relate the type, design and layout of residential, commercial, industrial and recreational development to the particular use; and
9. To encourage coordination of the various public and private procedures and activities shaping land development with a view of lessening the cost of such development and to the more efficient use of land.

The LHRL requires that the Redevelopment Plan define the relationship of the Plan to the local Master Plan goals and objectives such as appropriate land use, population densities, improvements to traffic, public utilities, recreational and community facilities, and other improvements. This Redevelopment Plan is consistent with these goals and objectives of the Town's Master Plan. The 2007 Master Plan specifically states a goal in the housing section that discusses the importance of maintaining and encouraging "diversity in the type and character of available housing" types, densities, and affordability.

B. Contiguous Municipalities' Master Plans

1. Town of Rockaway Master Plan Reexamination. This Redevelopment Plan is consistent with the following land use goals of the Town of Rockway Master Plan Reexamination adopted November 18, 2019:
 - Goal 1: To maintain and enhance the existing areas of stability in the community and to encourage a property distribution of land uses by designated areas which have their own uniform development characteristics;
 - Goal 3: To concentrate development in the southerly portion of the Town;
 - Goal 6: To encourage the design of open space features in cluster developments to abut the open space elements of adjacent properties;
 - Goal 7: To provide a variety of housing types, densities, and a balanced housing supply, in appropriate locations, to serve the Town;
 - Goal 10: To encourage new development, and redevelopment, to take into account the aesthetic character of the community, in an effort to enhance the visual and aesthetic appearance of the municipality;
 - Goal 15: To support the overall philosophy of the Highlands Water Protection and Planning Act; and
 - Goal 16: To support the overall philosophy of the New Jersey State Development and Redevelopment Plan ("SDRP") as a means of providing growth management on a state-wide basis while retaining the principals of home-rule.
2. Town of Randolph Master Plan. The 2006 Town of Randolph Master Plan establishes a series of goals that are consistent with this Redevelopment Plan as follows:
3.
 - Goal 2.1-3: Permit development in a manner so as to protect environmentally sensitive areas and features;
 - Goal 2.2-1: Provide sufficient flexibility in development regulations to permit variety of housing types serving a broad range of income levels and age groups;
 - Goal 2.2-3: The density of housing development should be related to the carrying capacity of the land, roads and utility infrastructure;
 - Goal 2.2-4: Cluster development should be encouraged to minimize environmental disturbance and preserve open space;
 - Goal 3.0-2: Encourage creative planning and development to produce visual harmony and identity, preserve special physiographic features and protect natural resources; and
 - Goal 3.0-5 Refine and illustrate building, signage, landscape and streetscape design standards to ensure the development of a desirable physical environment in Town activity centers.

4. Mine Hill Master Plan. The 2024 Mine Hill Master Plan Reexamination reaffirms the goals and objectives of the 2015 Master Plan Reexamination. The following are consistent with this Redevelopment Plan.
- To encourage municipal action to guide the appropriate use or development of all lands in this State, in a manner which will promote the public health, safety, morals, and general welfare.
 - To secure safety from fire, flood, panic, and other natural and man-made disasters.
 - To provide adequate light, air, and open space.
 - To ensure that the development of individual municipalities does not conflict with the development and general welfare of neighboring municipalities, the County, and the State as a whole.
 - To promote the establishment of appropriate population densities and concentrations that will contribute to the well-being of persons, neighborhoods, communities and regions and preservation of the environment.
 - To encourage the appropriate and efficient expenditure of public funds by the coordination of public development with land use policies.
 - To provide sufficient space in appropriate locations for a variety of agricultural, residential, recreational, commercial, and industrial uses and open space, both public and private, according to their respective environmental requirements in order to meet the needs of all New Jersey citizens.
 - To encourage the location and design of transportation routes which will promote the free flow of traffic while discouraging location of such facilities and routes which result in congestion or blight.
 - To promote a desirable visual environment through creative development techniques and good civic design and arrangements.
5. Wharton Master Plan. The 2015 Wharton Master Plan Reexamination sets forth the following goals and objectives that are consistent with this Redevelopment Plan:
- Goal 1. To maintain and enhance existing areas of stability in the community, encourage the proper relationship between land uses, by promoting a spatial distribution of uses, and establishing areas which have their own integrity and uniformity of purpose. In particular, to preserve and protect the residential character and prevailing density of the community by restricting incompatible land uses from established residential areas, and limiting intensities of use in accordance with this Plan.
 - Goal 8. To preserve and enhance the Borough's commercial areas by defining their functional role in the Borough and enhancing the quality of life within the central commercial center, along Main Street, through an appropriate mixture of activities, and provide suitable parking facilities to serve the businesses in the central commercial district.
 - Goal 9. To promote the redevelopment and adaptive re-use of the Borough's former industrial buildings and sites.

C. Morris County Master Plan

The Plan is consistent with the goals and objectives of the Morris County Master Plan Land Use Element prepared in December 2020 as follows:

- Goal 1: The creation of balanced and diverse economic and housing opportunities; encourage the creation of balanced and diverse economic and housing opportunities suitable to meet the economic, employment and housing needs of Morris County, consistent with the local determination of appropriate land use and community character, coordinated with infrastructure capability and the protection of environmental resources.
- Goal 2: The efficient use of land and resources; Encourage the focus of housing and economic growth in areas with existing or planned infrastructure (sewer, water, transportation) and in existing or planned population and employment centers consistent with environmental protection limitations and environmental protection goals. Encourage less intense growth, and focus major land conservation and preservation activities in areas that do not contain existing or planned infrastructure.
- Goal 4: Development that proceeds only after careful analysis of environmental conditions; and Support desired development that proceeds only after careful analysis of environmental conditions and within the limitations imposed by such analysis, with emphasis on the mitigation of associated environmental impacts and potential hazards to life and property.
- Goal 6: The achievement of community planning goals and objectives and increased cooperation between municipalities in their respective land use decisions. Support local efforts to achieve planning goals and objectives and encourage cooperation between municipalities in their respective land use decisions. Recognize and support local land use planning initiatives and activities where consistent with County goals and objectives and sound planning principles. Encourage inter-municipal cooperation and coordination for projects generating multi-jurisdictional impacts.
- Objective 1: Promote the continued revitalization and redevelopment of the County's established downtown centers and commercial corridors;
- Objective 2: Encourage compact development patterns, cluster development, and infill development, consistent with local goals, to reduce sprawl, mitigate environmental impacts, and to make improved utility and transportation infrastructure feasible and economical;
- Objective 13: Encourage municipalities to invest in robust comprehensive planning, review of zoning and land development ordinances to ensure timely consideration of changing land use conditions, emerging land use/market trends, evolving techniques and development standards; and
- Objective 14: Encourage municipal governments to coordinate the planning and redevelopment of commercial corridors, particularly as concerns inter-municipal traffic impacts and to consider the compatibility of adjacent land uses along municipal boundaries in their land use planning. Facilitate inter-municipal communication, coordination and partnerships concerning significant land use issues and associated inter-municipal impacts, including, but not limited to traffic, stormwater, and incompatible land uses.

D. New Jersey Highlands Regional Master Plan

The 2008 New Jersey Highlands Regional Master Plan ("RMP") guides the implementation of the Highlands Water Protection and Planning Act of 2004. The Town of Dover is situated within the Highlands Planning Area of the Highlands Region. The Highlands Planning Area is the portion of the Highlands Region that is not included in the Highlands Preservation Area. While the Act does not establish any new standards for the Highlands

Planning Area, the RMP provides a course for enhanced standards such as the transfer of development rights (“TDR”) and smart growth in this portion of the Highlands Region. Dover has not submitted a petition for Plan Conformance; however, this Redevelopment Plan is consistent with the following future land use goals and objectives of the RMP.

- Goal 6E: The incorporation of regional development patterns and related environmentally sensitive areas within existing community zones;
- Goal 6F: Support of compact development, mixed use development and redevelopment and maximization of water, wastewater and transit infrastructure investments for future use of land and development within the existing community;
- Goal 6H: Guide development away from environmentally sensitive and agricultural lands and promote development and redevelopment in or adjacent to existing developed lands;
- Goal 6J: Accommodation of regional growth and development needs through the reuse and redevelopment of previously developed areas, including brownfields, grayfields and underutilized sites;
- Goal 6K: Concentrate residential, commercial and industrial development, redevelopment, and economic growth in existing developed areas in locations with limited environmental constraints, access to existing utility, and transportation infrastructure;
- Goal 6N: Use of smart growth principals, including low impact development, to guide development and redevelopment in the Highlands Region;

E. State Development and Redevelopment Plan (SDRP)

The SDRP adopted March 1, 2001, designates the Town of Dover as a P1 Metropolitan Planning Area. Under this designation, Dover and other similarly designated areas are charged with the goal of providing for much of the State’s future development and redevelopment. Furthermore, Dover was designated a Regional Center in 1994 by the New Jersey State Planning Commission. Although the SDRP is meant to be used as a guide, the consideration of these designations is taken into account specifically in terms of development when State agency approval is necessary. The Plan adheres to many of the 2025 SDRP goals as follows:

- Goal 1: Reverse the concentration of adverse environmental and public health impacts in overburdened communities and redress inequities resulting from past planning actions;
- Goal 2: Effectively address the adverse impacts of global climate change;
- Goal 3: Protect, maintain, and restore the State’s natural and water resources and ecosystems;
- Goal 4: Protect the environment; Prevent and clean up pollution;
- Goal 5: Revitalize and recenter the State’s underutilized developed areas;
- Goal 10: Ensure sound and integration planning and implementation at all levels statewide.

VII. Relocation of Residents

There are no residents to be relocated within the Plan Area.

VIII. Plan Administration

The Town may require the following administrative provisions in connection with the implementation of the Redevelopment Plan:

1. The Town may designate one or more redevelopers for the implementation of this Plan and enter into a redevelopment agreement or other agreements as necessary to effectuate this Plan.
2. This Redevelopment Plan shall supersede any or all prior redevelopment plans pertaining to this site and the Dover Land Use and Development Ordinance Chapter 236, unless otherwise noted herein.
3. This Redevelopment Plan may be amended from time-to-time upon compliance with the requirements of law. If amendments are requested by the redeveloper, a fee of \$3,000.00 plus all costs of professional fees; copying and transcripts shall be payable to the Town of Dover for any request to amend this plan. If there is a designated redeveloper, said redeveloper shall pay these costs prior to any such amendment. If there is no redeveloper, the appropriate agency shall be responsible for any and all such costs, and may seek reimbursement from any redeveloper of the Redevelopment Area.
4. All development within the Redevelopment Area shall be consistent with the provisions of this Plan including but not limited to permitted uses and bulk requirements.
5. This Redevelopment Plan shall be implemented consistent with the requirements of the LRHL for the effectuation of redevelopment plans.
6. A site plan, subdivision plat, architectural plan and other information typically required as part of the Town's development application checklist shall be submitted by the Redeveloper for Planning Board review and approval prior to commencement of new construction, rehabilitation of existing structures or a change in use in order to determine compliance with this Plan. The Planning Board and/or its professionals may grant submission waivers from any documents or information required in the plan. This plan specifically allows Site Plan, subdivision, variance, exception, or any other approvals, which shall be administered by the Planning Board in accordance with the Municipal Land Use Law N.J.S.A 40:55D-1 et seq. No permits shall be issued without prior review and approval of the Planning Board. As part of the site plan approval, the Planning Board may require the redeveloper to furnish performance guarantees pursuant to N.J.S.A. 40:55D-53. The performance guarantees shall be in favor of the Town, and the Town Engineer shall determine the amount of the performance guarantees in accordance with the foregoing.
7. The designation of the applicant as the Redeveloper the execution of a redevelopment agreement with the Town shall be a prerequisite to a completeness determination and hearing by the Planning Board of any site plan application within Plan Area.
8. The Planning Board may grant relief from the requirements of this Plan pursuant to N.J.S.A. 40:55D-70c or N.J.S.A. 40:55D-51, as applicable, where the standards set forth therein are met. In no event shall relief be granted to provide a use that is not permitted by this Plan.
9. The designated Redeveloper shall cover the cost of professional services incurred by the Town for administration, review of projects, preparation of this Plan and implementation of redevelopment projects including but not limited to legal, engineering, planning, and environmental, real estate, traffic/parking and urban design services. Said services shall be paid through escrow accounts established in accordance with or as otherwise provided in a redevelopment agreement with the Town.

10. This Plan Cannot Be Used As A Basis For Eminent Domain. This Redevelopment Plan is not an area that has been declared eligible for condemnation and as such cannot be used as a basis for eminent domain acquisition.
11. Effect of Approval. The effects of any Planning Board approval shall be consistent with the rights granted by Municipal Land Use Law (N.J.S.A. 40:55D-1 et seq.) except to the extent they may be modified by the Redeveloper's Agreement. The Redevelopment plan shall remain in full force and effect for a period of twenty (20) years from the effective date of adoption of this Redevelopment plan by the Municipal Council; however, the period of time granting rights for the redevelopment of the area to a redeveloper(s) shall be as established in an executed Redevelopment Agreement.

IX. Appendix

APPENDIX A
TOWN COUNCIL RESOLUTION 133-2026

Redevelopment Plan
Block 703, Lot 6.01, formerly part of, and also known as Lot 6
Town of Dover, Morris County, New Jersey



TOWN OF DOVER

MAYOR & TOWN COUNCIL

RESOLUTION NO. 133-2026

RESOLUTION OF COUNCIL OF THE TOWN OF DOVER DECLARING A CERTAIN AREA KNOWN AS 200 W. CLINTON STREET (AND ALSO KNOWN AS 220 W. CLINTON ST.) AND SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF DOVER AS BLOCK 703, LOT 6.01 (FORMERLY A PORTION OF AND NOW KNOWN AS BLOCK 703, LOT 6) IN THE TOWN OF DOVER A NON-CONDEMNATION AREA IN NEED OF REDEVELOPMENT

WHEREAS, the Town Council of the Town of Dover (the "Town Council") considered it to be in the best interest of the Town to have the Town Planning Board conduct an investigation of certain property located in the Town commonly known as 200 W. Clinton Street (and also known as 220 W. Clinton St.) and shown on the official Tax Map of the Town of Dover as Block 703, Lot 6.01 (formerly a portion of and now known as Block 703, Lot 6) (the "Study Area"), to determine whether such Study Area, or any portions thereof, is a non-condemnation area in need of redevelopment pursuant to the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq. (the "Redevelopment Law"); and

WHEREAS, in Resolution No. 74-2026, adopted on March 24, 2026, the Town Council directed the Town Planning Board to conduct a preliminary investigation of the Study Area to determine whether same, or any portions thereof, is a non-condemnation area in need of redevelopment; and

WHEREAS, the Study Area is generally bounded by commercial properties to the north and south; State Route 15 (aka W. Clinton Street) and residential properties to the east; and a railroad siding and commercial properties to the west; and

WHEREAS, the Town Council believes the Study Area is potentially valuable for contributing to, serving, and protecting the public health, safety and welfare and for the promotion of smart growth within the Town; and

WHEREAS, on behalf of the Planning Board, graviano & gillis architects & planners, llc prepared a report entitled "Determination of Need Study, Non-Condensation Redevelopment Areas, Block 703 Lot 6.01 (Formerly a part of, and also known as Lot 6), Town of Dover, Morris County, New Jersey", dated May 28, 2026 (the "Preliminary Investigation") and testimony of the Town's professional planning consultant (Nicholas Graviano) pursuant to and in accordance with the procedural requirements of N.J.S.A. 40A:12A-6, to determine whether the Study Area satisfies the criteria set forth in N.J.S.A. 40A:12A-5 (or, if and as applicable, N.J.S.A. 40A:12A-3) to be designated as a non-condemnation area in need of redevelopment; and

WHEREAS, N.J.S.A. 40A:12A-6.b(4)-(5) of the Redevelopment Law provides in pertinent part relative to the Town Planning Board's public hearing on the Preliminary Investigation and whether the Study Area should be designated a non-condemnation "area in need of redevelopment":

"(4) At the hearing, which may be adjourned from time to time, the planning board shall hear all persons who are interested in or would be affected by a determination that the delineated area is a redevelopment area. All objections to such a determination and

evidence in support of those objections, given orally or in writing, shall be received and considered and made part of the public record.

(5) (a) After completing its hearing on this matter, the planning board shall recommend that the delineated area, or any part thereof, be determined, or not be determined, by the municipal governing body to be a redevelopment area"; and

WHEREAS, the Town of Dover Planning Board, at a duly noticed public hearing held on June 18, 2026, reviewed the Preliminary Investigation; and

WHEREAS, at the hearing, the Planning Board heard from all persons who were interested in or would be affected by a determination that the Study Area is a non-condemnation redevelopment area, and all objections to a determination that the Study Area is an area in need of redevelopment and evidence in support of those objections were received and considered by the Planning Board and made part of the public record; and

WHEREAS, the Planning Board considered and reviewed each of the statutory criteria in the Redevelopment Law and the condition of the Study Area as analyzed in detail in the testimony of the Town's professional planning consultant and in the Preliminary Investigation, as well as comments from all persons who were interested in or would be affected by a determination that the Study Area is a non-condemnation redevelopment area, including but not limited to the deleterious conditions, ongoing vacancy and the functional obsolescence of the layout of the improvements within the Study Area, and concurred with the finding in the Preliminary Investigation, which states as follows in the Conclusions:

"Based on the conditions presented in Section III, the Study Area meets two (2) criteria as outlined by the LRHL. Including:

Criteria 'a'

a. The generality of buildings are substandard, unsafe, unsanitary, dilapidated, or obsolescent, or possess any of such characteristics, or are so lacking in light, air, or space, as to conducive to unwholesome living or working conditions.

Tax records indicate that the building was constructed in 1900. The site investigation, as illustrated in Photos 1 through 4, revealed buildings that are substandard, unsafe, dilapidated, and obsolescent. The existing buildings area conducive to unwholesome working conditions. In addition to the dilapidated condition, the buildings are constructed in a manner that is no longer used in modern warehouse and industrial construction. The large and expansive areas of single-pane glass on the front and rear facades create hazards for employees and visitors.

An Open Public Records Act (OPRA) request was submitted to the Town for the Study Area's records. A property maintenance inspection report was printed by the Town on March 17, 2026. The report can be found in **Appendix C** [attached to the Preliminary Investigation]. The report indicated that the building was found to be in substandard and dilapidated condition on: August 22, 2022; June 9, 2023; and June 13, 2024. The property maintenance inspections indicated that there was chipping paint on the facades as well as missing and broken windows that needed repair. These same conditions still exist today, highlighting the continued substandard, unsafe and dilapidated condition of the buildings.

Criteria 'd'

d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

The site investigation, as illustrated in Photos 1 through 4, revealed buildings and improvements that by reason of dilapidation, obsolescence, and deleterious land use or obsolete layout that are detrimental to the safety, health, morals or welfare of the community. There are parking areas and drive aisles that need complete removal and replacement and are not safe for vehicular parking and travel. The dilapidated site conditions and faulty arrangement of the buildings and site all create an unsafe and visually undesirable environment that is detrimental to the safety and welfare of the Dover community.

A Phase I Environmental Site Assessment and Preliminary Assessment was prepared for the Study Area on April 2, 2026. It was prepared by EBI Consulting, and a partial copy of the report can be found in **Appendix D** [attached to the Preliminary Investigation]. The report indicates the following:

'Numerous environmental investigations and remedial actions have been conducted on the Subject Property in connection with the Dover Tubular Alloys Inc. operations and historic site operations. Site investigation activities, beginning in 2011, were completed in connection with the 19 total AOCs identified for the larger Block 703 Lot 6 parcel. This parcel was recently subdivided, and 3 (AOC 5, AOC 8, and AOC 9) out of the 19 AOCs pertain to areas to the south and offsite of the Subject Property.'

'All onsite AOCs have been thoroughly investigated, and concentrations of SVOCs, metals, PCBs, and pesticides remain above applicable NJDEP SRS. All exceedances have been delineated and will be addressed through engineering and institutional controls, including site capping, a deed notice, and an RAP for soils. These controls will be implemented in conjunction with the planned redevelopment of the Subject Property, which will include the demolition of all existing structures and the construction of a new distribution warehouse. At present, the site remains a known contaminated site under NJDEP oversight. Following the RAP application approval by the NJDEP, a Restricted Use RAO will be issued for the Subject Property. Once the RAO is issued for the Subject Property, this REC will be considered a CREC.'

As indicated, the Study Area is a known contaminated site under NJDEP oversight. Further remedial actions will be required to address the environmental conditions in the Study Area. The Phase 1 report indicates that the Study Area contains buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community."

WHEREAS, the Preliminary Investigation goes on to conclude as follows in the Conclusion:

“Because the Study [sic] Area meets the criteria of the LHRL, it is recommended that the Study Area be designated as a Non-Condensation Area in Need of Redevelopment.”

WHEREAS, at the June 18, 2026 Planning Board hearing, the Town’s professional planning consultant testified substantially as set forth above and as stated and recommended in the Preliminary Investigation; and

WHEREAS, after conducting its investigation and reviewing the Preliminary Investigation, preparing a map of the proposed redevelopment area, and completing the above public hearing at which all objections to and support of the designation were received and considered, the Town of Dover Planning Board, in a Resolution dated June 18, 2026, recommended to the Town Council that it should designate the entirety of the Study Area as a non-condemnation area in need of redevelopment: and

WHEREAS, the Town Council concurs and agrees with Planning Board’s recommendation as supported by the reasons stated in the Preliminary Investigation that the Study Area constitutes and meets the criteria under the Redevelopment Law and that the Study Area should be determined and declared a non-condemnation “area in need of redevelopment.”

NOW, THEREFORE, BE IT RESOLVED, by the Town Council of the Town of Dover, State of New Jersey, that the Study Area known as 200 W. Clinton Street (and also known as 220 W. Clinton St.) and shown on the official Tax Map of the Town of Dover as Block 703, Lot 6.01 (formerly a portion of and now known as Block 703, Lot 6), is hereby designated a non-condemnation “area in need of redevelopment” under the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq., and such designation shall authorize the Town to use all those powers provided under the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq., except that such determination shall not permit the Town to exercise the power of eminent domain to acquire all or any portion of the Study Area; and

BE IT FURTHER RESOLVED, that the Town Council hereby directs the Town Clerk to (a) serve this Resolution declaring that the property known as 200 W. Clinton Street (and also known as 220 W. Clinton St.) and shown on the official Tax Map of the Town of Dover as Block 703, Lot 6.01 (formerly a portion of and now known as Block 703, Lot 6), is designated a non-condemnation redevelopment area upon the Commissioner of the Community Affairs in accordance with N.J.S.A. 40A:12A-6.b(5)(c), and (b) serve notice of such designation, within ten (10) days hereof, upon all record owners of property located within the delineated area, those whose names are listed in the tax assessor’s records, and upon each person who filed a written objection thereto and stated an address to which notice of determination may be sent in accordance with N.J.S.A. 40A:12A-6.b(5)(d); and

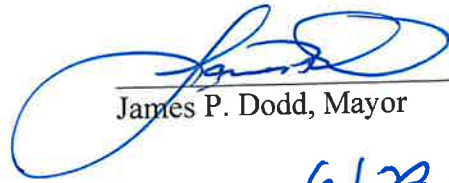
BE IT FURTHER RESOLVED, that the Town Council hereby authorizes graviano & gillis architects & planners, llc to prepare a redevelopment plan for the Study Area known as 200 W. Clinton Street (and also known as 220 W. Clinton St.) and shown on the official Tax Map of the Town of Dover as Block 703, Lot 6.01 (formerly a portion of and now known as Block 703, Lot 6), for review and consideration by the Town Council in accordance with the Redevelopment Law; and

BE IT FURTHER RESOLVED, that this Resolution shall take effect immediately but no sooner than as permitted by law; and

BE IT FURTHER RESOLVED, that a copy of this resolution shall be published as and if required by law.

ATTEST:


Tara M. Pettoni, Municipal Clerk


James P. Dodd, Mayor

ADOPTED: 6/23/2026

APPENDIX B
Conceptual Site Plan

Redevelopment Plan
Block 703, Lot 6.01, formerly part of, and also known as Lot 6
Town of Dover, Morris County, New Jersey

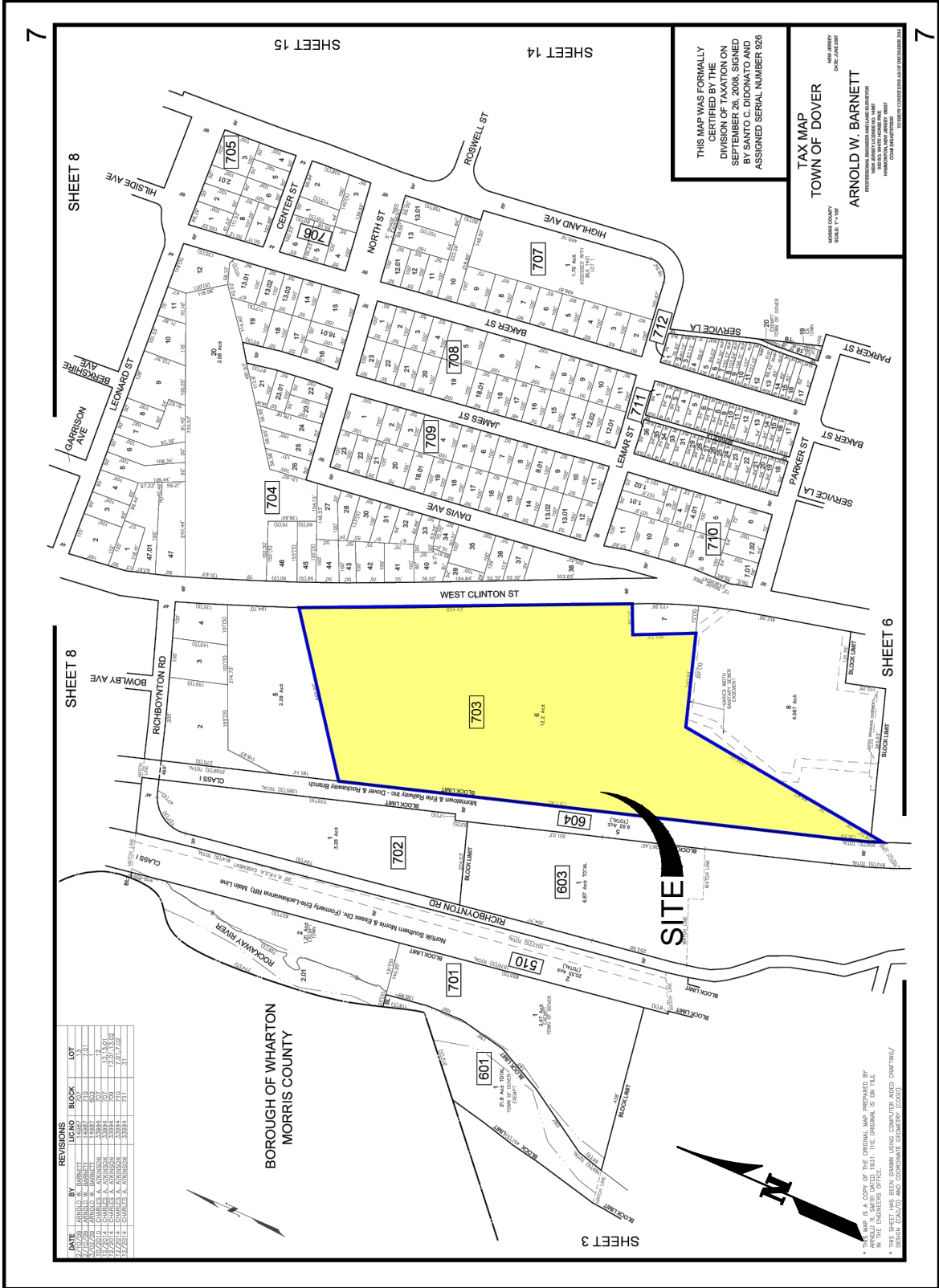
DOVER TUBULAR ALLOYS REDEVELOPMENT

200 WEST CLINTON STREET
TOWN OF DOVER, NJ 07801
MORRIS COUNTY

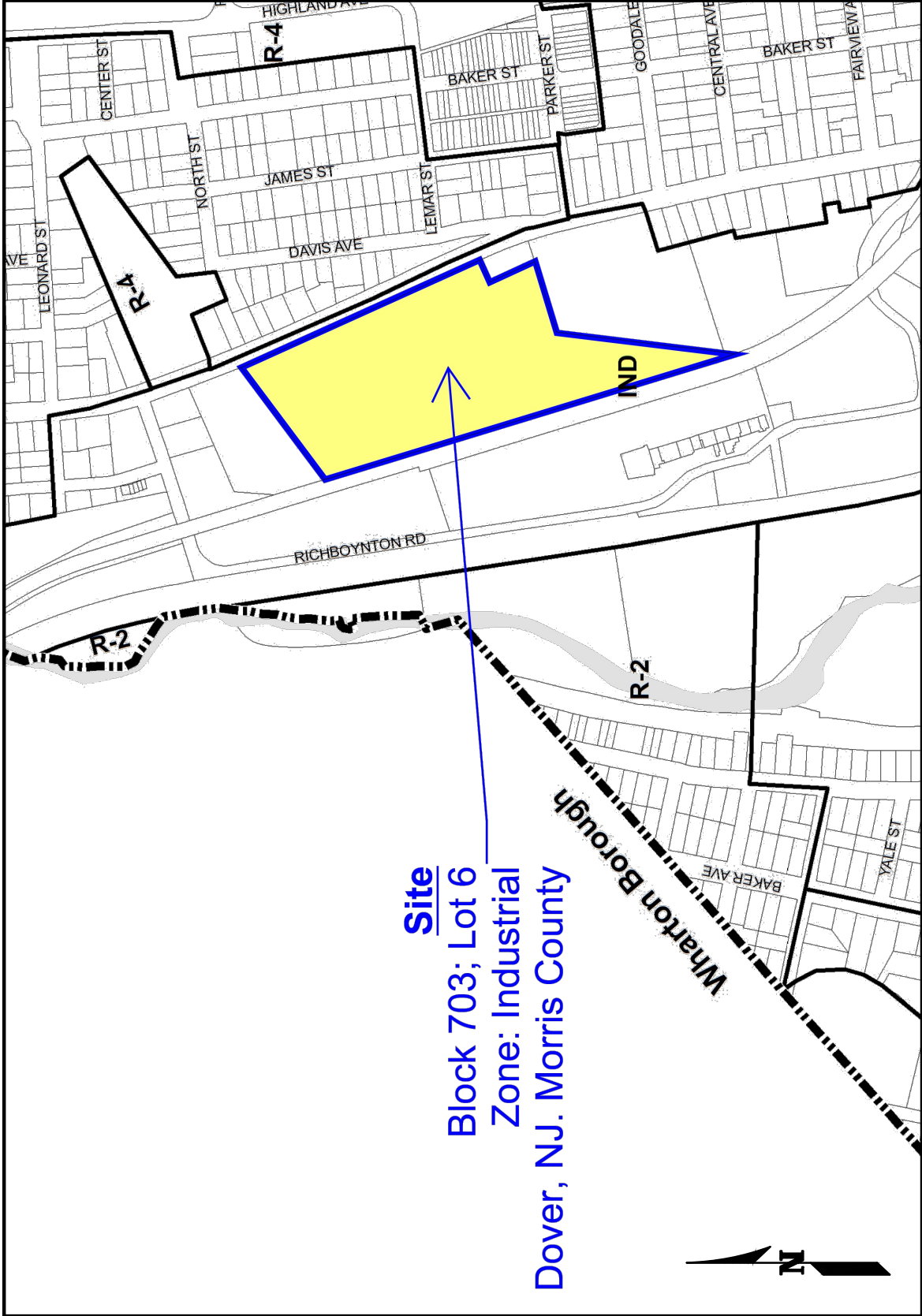
PROJECT CONTACT LIST	
OWNER / APPLICANT	
SL ACQUISITIONS LLC	
185 MORRISTOWN ROAD	
BRUNSWICK, NJ 07920	(732) 986-9000
CIVIL ENGINEER	
WARE MALCOMB	
1000 NEW YORK AVENUE, SUITE 303	
NEWARK, NJ 07102	(973) 586-2400
ARCHITECT	
ARCHITECTURAL ARCHITECTS, LLC	
439 ROUTE 46 EAST, SUITE A	
ROCKAWAY, NJ 07866	(732) 764-0100
SURVEYOR	
EDWARDS ENGINEERING, LLC	
200 METROPOLIS DRIVE, STE 285	
EDISON, NJ 08817	
TOWN OF DOVER UTILITIES	



BLOCK	LOT	UNIT ID	PROPERTY OWNER	PROPERTY LOCATION
603	1	C32	TOWN SQUARE INDUSTRIAL CTR LLC	28 RICHMONTON RD. DOVER, NJ 07801
603	1	C34	TOWN SQUARE INDUSTRIAL CTR LLC	28 RICHMONTON RD. DOVER, NJ 07801
603	1	C36.1	TOWN SQUARE INDUSTRIAL CTR LLC	28 RICHMONTON RD. DOVER, NJ 07801
603	1	C36.2	TOWN SQUARE INDUSTRIAL CTR LLC	28 RICHMONTON RD. DOVER, NJ 07801
603	1	C38	I IDEAL HOLDINGS LLC	38 RICHMONTON RD. DOVER, NJ 07801
603	1	C40	ACACIA PROPERTIES	46 RICHMONTON RD. DOVER, NJ 07801
603	1	C42	JCE ENTERPRISES LLC	44 RICHMONTON RD. DOVER, NJ 07801
603	1	C44	JCE ENTERPRISES LLC	44 RICHMONTON RD. DOVER, NJ 07801
709	13.01		SOULU MUHAMMADWALIM, MEMET	28 DAVIS AVE. DOVER, NJ 07801
709	13.02		MCQUHIRT THOMAS & BRYAN C	32 DAVIS AVE. DOVER, NJ 07801
603	2		DOVER MORRIS PROPERTIES LLC	400 MORRIS AVE. SUITE 276, DENAULTE, NJ 07834
703	4	B01	HAQUE FUEL LLC	235 RT 22 E. GREEN BROOK, NJ 08812
703	4	B02	HAQUE FUEL LLC	235 RT 22 E. GREEN BROOK, NJ 08812
703	38	B01	ELLER OUTDOOR ADVERTIS - %CS OUTDOOR	185 RTE 46, FAIRFIELD, NJ 07006
704	38	B02	ELLER OUTDOOR ADVERTIS - %CS OUTDOOR	185 RTE 46, FAIRFIELD, NJ 07006
803	2		DOVERMCKINAW RR % K. BURENDA	1076 GROSSMANN RD. FREDERICKSBURG, TX 78624
803	2	T01	JOPAL TID BIA QTY ENERGY TAX DEPT	PO BOX 4737, OAKBROOK, IL 60022
803	9		LAVENE MANOR CONDOMINIUM	2-10 BOWLEY AVE. DOVER, NJ 07801



SHEET INDEX	LAST REVISION
01	C1.0
02	C1.1
03	C2.0
04	C3.0
05	C4.0
06	C5.0
07	C5.1
08	C5.1
09	C6.0
10	C6.0
11	C7.0
12	C7.1
13	C8.0
14	C8.1
15	C9.0
16	C9.1
17	C10.0
18	C11.0
19	C11.1
20	C12.0
21	C13.0
22	C13.1
23	C13.1
24	C13.2
25	C13.3
26	C14.0-C14.6
27	C14.7
28	C14.7
29	C14.7
30	C14.7
31	C14.7
32	C14.7
33	C14.7



SIGNAGE COMPLIANCE (\$236-38)				
ZONING DISTRICT: IND - INDUSTRIAL				
200 W. CLINTON STREET - DOVER TUBULAR WAREHOUSE				
ITEM	PERMITTED	SPECIFICATIVE TUBULAR WAREHOUSE	DOVER TUBULAR WAREHOUSE	COMPLIANCE
Freestanding Signs				
Number of Signs (\$236-38.1.3.a.i)	1	1	1	Yes/Yes
Maximum Area Per Side (\$236-38.4.2)	75 SF	50 SF	50 SF	Yes/Yes
Maximum Height (\$236-38.4.2)	20 FT	8.3 FT	8.3 FT	Yes/Yes
Minimum Setback (\$236-38.4.1)	4 FT	4 FT	4 FT	Yes/Yes
Wall Signs				
Number of Signs (\$236-38.1.3.a.i)	1	1	1	Yes/Yes
Maximum Area (\$236-38.1.3.a.i)	40 SF	30 SF	250 SF	Yes/Yes
Maximum Height (\$236-38.1.2)	44 FT/25 FT	24 FT	33 FT	Yes/Yes
Overall				
Maximum Area (Total, All Signs) (\$236-38.1.3)	900 SF/700 SF	80 SF	83 SF	Yes/Yes
illumination	Freestanding Signs: Ground lights / Wall Signs: Interior lights			

ZONING TABLE					
ZONING DISTRICT: IND - INDUSTRIAL					
200 W. CLINTON STREET					
ITEM	PERMITTED / REQUIRED Varies	SPECULATIVE DETENTION		COMPLIANCE	
Proposed Uses		Down Tabular Warehouses Nonresidential Plant	Down Tabular Warehouses Nonresidential Plant	Down Tabular Warehouses Nonresidential Plant	Yes/Yes
Site					
Minimum Lot Area	N/A	11.9 AC	6.64 AC	5.26 AC	Yes/Yes
Minimum Lot Width	N/A	85.1 FT	47.8 FT	38.7 FT	Yes/Yes
Minimum Lot Depth	N/A	65.1 FT	42.8 FT	44.7 FT	Yes/Yes
Minimum Lot Coverage	N/A	28.2%	71.8 %	56.8 %	Yes/Yes
Minimum Distance to Residential District	N/A	66 FT	66 FT	66 FT	Yes/Yes
Yards					
Minimum Front Yard Setback	N/A	166.7 FT	63.3 FT	123.4 FT	Yes/Yes
Minimum Side Yard	N/A	196.3 FT	64.0 FT	10.0 FT	Yes/Yes
Minimum Side Yard Quantity	N/A	529.6 FT	135.5 FT	75.9 FT	Yes/Yes
Minimum Rear Yard	N/A	172.2 FT	150 FT	58 FT	Yes/Yes
Minimum Buffer Depth	N/A	82 FT	12 FT	23 FT	Yes/Yes
Building					
Maximum Building Height	65 FT	2 Stories	44 FT	35 FT	Yes/Yes
Maximum Building Coverage	N/A	7.90%	36.0 %	34.4 %	Yes/Yes
Min Landscape Setback	N/A	82.1 FT	12 FT	23 FT	Yes/Yes
Min Residential Setback	N/A	221.5 FT	137 FT	89 FT	Yes/Yes

200 FT OWNER & ADDRESS REPORT					
BLOCK	LOT	UNIT ID	PROPERTY OWNER	PROPERTY LOCATION	
603	1		TOWN SQUARE INDUSTRIAL CENTER	22-44 RICHMONTON RD, DOVER, NJ 07801	
	603	3	DOVER MORRIS PROPERTIES LLC	460 MORRIS AVE., SUITE 276, DEVILLE, NJ 07834	
	606	2	DOVER MORRIS PROPERTIES LLC	460 MORRIS AVE., SUITE 276, DEVILLE, NJ 07834	
	607	14	ROJAS KELLY	158 W CLINTON ST, DOVER, NJ 07801	
	607	15	RAMOS RUPTORT & BURGUEÑO MARIA R	158 W CLINTON ST, DOVER, NJ 07801	
702	1		MEENAN OL CO. L.P.	40 CRAIGWOOD RD, SOUTH PLAINFIELD, NJ 07080	
	703	2	PETRICH, ROBERT	248 MAXIM DR, HOPATCONG, NJ 07843	
	703	3	PETRICH, ROBERT	248 MAXIM DR, HOPATCONG, NJ 07843	
	703	4	HANQUE NUEL LLC	255 RT. 22 EAST, GREEN BROOK, NJ 08812	
	703	6	DOVER BUSINESS PARK, LLC	158 W CLINTON ST, DOVER, NJ 07801	
704	44		FUENTES DIMARS J THUR DE KOOS, ARTURO	PO BOX 42, DOVER, NJ 07801-0042	
	704	20	CLINTON MANOR LLC % GOLDIERBERG REALTY	35 CLINTON RD, WEST CALDWELL, NJ 07066	
	704	27	ROZO, ELISON E JEANETTE	73 DAVIS AVE, DOVER, NJ 07801	
	704	28	SANTOS, MIGUEL	69 DAVIS AVE, DOVER, NJ 07801	
	704	30	VALLE, JESUS ISMAEL GARCIA	67 DAVIS AVE, DOVER, NJ 07801	
704	31		ARZA, JULIAN ANDRES CRUZ & BARRETO M	57 DAVIS AVE, DOVER, NJ 07801	
	704	32	OMAR CARLOS	55 DAVIS AVE, DOVER, NJ 07801	
	704	33	TABARES, EMERZ DIBANGDO GLOBA	51 DAVIS AVE, DOVER, NJ 07801	
	704	34	VALDEBONTO, MARJORQUE, TANIA V	45 DAVIS AVE, DOVER, NJ 07801	
	704	35	VEGA ASSETS INVESTMENTS LLC	15 JAMES ST, ROCKAWAY, NJ 07866	
704	36		BEGIAN, NUSRATH	33 VAN DYKE AVE, ROCKAWAY, NJ 07866	
	704	37	RINCON, HENRY E	35 DAVIS AVENUE ABB, DOVER, NJ 07801	
	704	38	ELLER OUTDOOR ADVERTISING-UNITED DV	185 RTE 46, FAIRFIELD, NJ 07006	
	704	39	CACERES, YSOLA	7 SABLEMONT CT, WESTERLY, RI 02891	
	704	40	CACERES, YSOLA	7 SABLEMONT CT, WESTERLY, RI 02891	
704	41		CASCO, MARK S & SANDRA M	403 GROVE ST, WESTFIELD, NJ 07090	
	704	42	DODD, JAMES	331 RICHARDS AVE, DOVER, NJ 07801	
	704	43	D'AMORE, JORJACIO	26 WEST SHORE AVE, HOPATCONG, NJ 07843	
	704	44	FUENTES, DIMARS J THUR DE KOOS, ARTURO	267 W CLINTON ST, DOVER, NJ 07801	
	704	45	271 WEST CLINTON STREET LLC	271 W CLINTON ST, DOVER, NJ 07801	
704	46		CHENTEN 273 LLC	503 ROUTE 10, RANDOLPH, NJ 07869	
	704	47	LASTRA, DANIEL FREDERICO	39 LENOX ROAD, ROCKAWAY, NJ 07866	
	709	12	VICTOR, LERLEY ANN	22 DAVIS AVE, DOVER, NJ 07801	
	709	14	CLARK, JUANITA	36 DAVIS AVE, DOVER, NJ 07801	
	709	15	GUILER, HELEN E / GUILER, MARY B	40 DAVIS AVE, DOVER, NJ 07801	
709	16		PLANAS, SILVIA E	44 DAVIS AVE, DOVER, NJ 07801	
	710	3	DUSSAN, JEWAY	13 JAMES ST, DOVER, NJ 07801	
	710	4	GOMEZ, ELVIN J & LUZ M	11 JAMES ST, DOVER, NJ 07801	
	710	4.01	QUINTERO, JENNIFER	24 TITUS ST, DOVER, NJ 07801	
	710	5	MORANTE, AMIE C & BLANCA L	7 JAMES ST, DOVER, NJ 07801	
710	6		MENDOZA, NANCY ESANACHE, KIMBERLY L	3 JAMES ST, DOVER, NJ 07801	
	710	7.01	ALI, LAHATUAQAT, RIZWANA	7 PARKER ST, DOVER, NJ 07801	
	710	8	WIRTH, STEVEN P & REINE S	3 MAYNARD TERRACE, DEVILLE, NJ 07834	
	710	9	FAMILIA, LILIAN & MIRTHA	8 DAVIS AVE, DOVER, NJ 07801	
	710	10	BERMUDEZ CARLOS & LAURA	10 DAVIS AVE, DOVER, NJ 07801	
710	11		LEWIS, DOUGLAS	18 DAVIS AVE, DOVER, NJ 07801	
	802	1	MEENAN OL CO. L.P.	40 CRAIGWOOD RD, SOUTH PLAINFIELD, NJ 07080	
	803	9	C02	GARCES, MARIA E	2 BOWLEY AVE, DOVER, NJ 07801
	803	9	C04	AMARO, HARCON	4 BOWLEY ST, DOVER, NJ 07801
	803	9	C06	AMIGON, OFELIA	6 BOWLEY AVE, DOVER, NJ 07801
803	9	C08	AVILA, AURIL	8 BOWLEY AVE, DOVER, NJ 07801	
	803	9	C10	LASTRA, FEDERICO & GOLDENBERG CHRISTI	26 LENOX RD, ROCKAWAY, NJ 07866
	810	3	CIACCIO GEORGE GUSEPHE & JOSEPHINE	288 W CLINTON ST, DOVER, NJ 07801	
	604	5	DOVER & ROCKAWAY RIVER RR % K BURENDA	1075 GRONA-SCHANDUA RD, FREDERICKSBURG, TX 78624	
	803	2	JOPPA, TOL BA GPH ENERGY % TAXI DEPT	PO BOX 1427, OAKBROOK, IL 60522	
704	47.01		DAZ DANIELA P	288 W CLINTON ST, DOVER, NJ 07801	
	604	5	DOVER & ROCKAWAY RIVER RR % K BURENDA	1075 GRONA-SCHANDUA RD, FREDERICKSBURG, TX 78624	
	710	1.01	NEVES, CARLOS R & CORTES-RIEVEA, W	4 LEWIS ST, DOVER, NJ 07801	
	710	7.02	BOICHICHO, STEVEN J JANICE	9 PARKER ST, DOVER, NJ 07801	
	603	1	C22	TOWN SQUARE INDUSTRIAL, CTR LLC	26 RICHMONTON RD, DOVER, NJ 07801
603	1	C24	TOWN SQUARE INDUSTRIAL, CTR LLC	26 RICHMONTON RD, DOVER, NJ 07801	
	603	1	C26	TOWN SQUARE INDUSTRIAL, CTR LLC	26 RICHMONTON RD, DOVER, NJ 07801
	603	1	C28	TOWN SQUARE INDUSTRIAL, CTR LLC	26 RICHMONTON RD, DOVER, NJ 07801
	603	1	C30	TOWN SQUARE INDUSTRIAL, CTR LLC	26 RICHMONTON RD, DOVER, NJ 07801
	603	1			

803	9	C06	AMCON, OFELIA	8 BOWLY AVE, DOVER, NJ 07801
803	9	C08	AVILA, AURAL	8 BOWLEY AVE, DOVER, NJ 07801
803	9	C10	LASTRA FEDERICO GODEFREDO CHRISTI	25 LENOX RD, ROCKAWAY, NJ 07866
810	3		CIACIO GEORGE GUERREPI & JOSEPHINE	208 W CLINTON ST, DOVER, NJ 07801
604	5		DOVER & ROCKAWAY RIVER RR & K BURENDA	1076 GRASSHAWND RD, FREDERICKSBURG, TX 78824
803	2		JOPRA, TIO BA GRU ENERGY % TAX DEPT	PO BOX 2447, OMBROOK, IL 60522
704	47.01		DAZ DANIELA P	208 W CLINTON ST, DOVER, NJ 07801
604	5	X	DOVER & ROCKAWAY RIVER RR % K BURENDA	1076 GRASSHAWND RD, FREDERICKSBURG, TX 78824
710	1.01		NIEVES, CARLOS O & CORTES-ARANDA, W	4 LEMAR ST, DOVER, NJ 07801
710	7.02		BOCHICHO, STEVEN J, JANICE	9 PARKER ST, DOVER, NJ 07801
603	1	C22	TOWN SQUARE INDUSTRIAL, CTR, LLC	26 RICHMONDTON RD, DOVER, NJ 07801
603	1	C24	TOWN SQUARE INDUSTRIAL, CTR, LLC	26 RICHMONDTON RD, DOVER, NJ 07801
603	1	C26	TOWN SQUARE INDUSTRIAL, CTR, LLC	26 RICHMONDTON RD, DOVER, NJ 07801
603	1	C28	TOWN SQUARE INDUSTRIAL, CTR, LLC	26 RICHMONDTON RD, DOVER, NJ 07801
603	1	C30	TOWN SQUARE INDUSTRIAL, CTR, LLC	26 RICHMONDTON RD, DOVER, NJ 07801

WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

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WARE MALCOMB

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908.732.986

waremalcomb.com

FOR AND ON BEHALF OF WARE MALCOMB

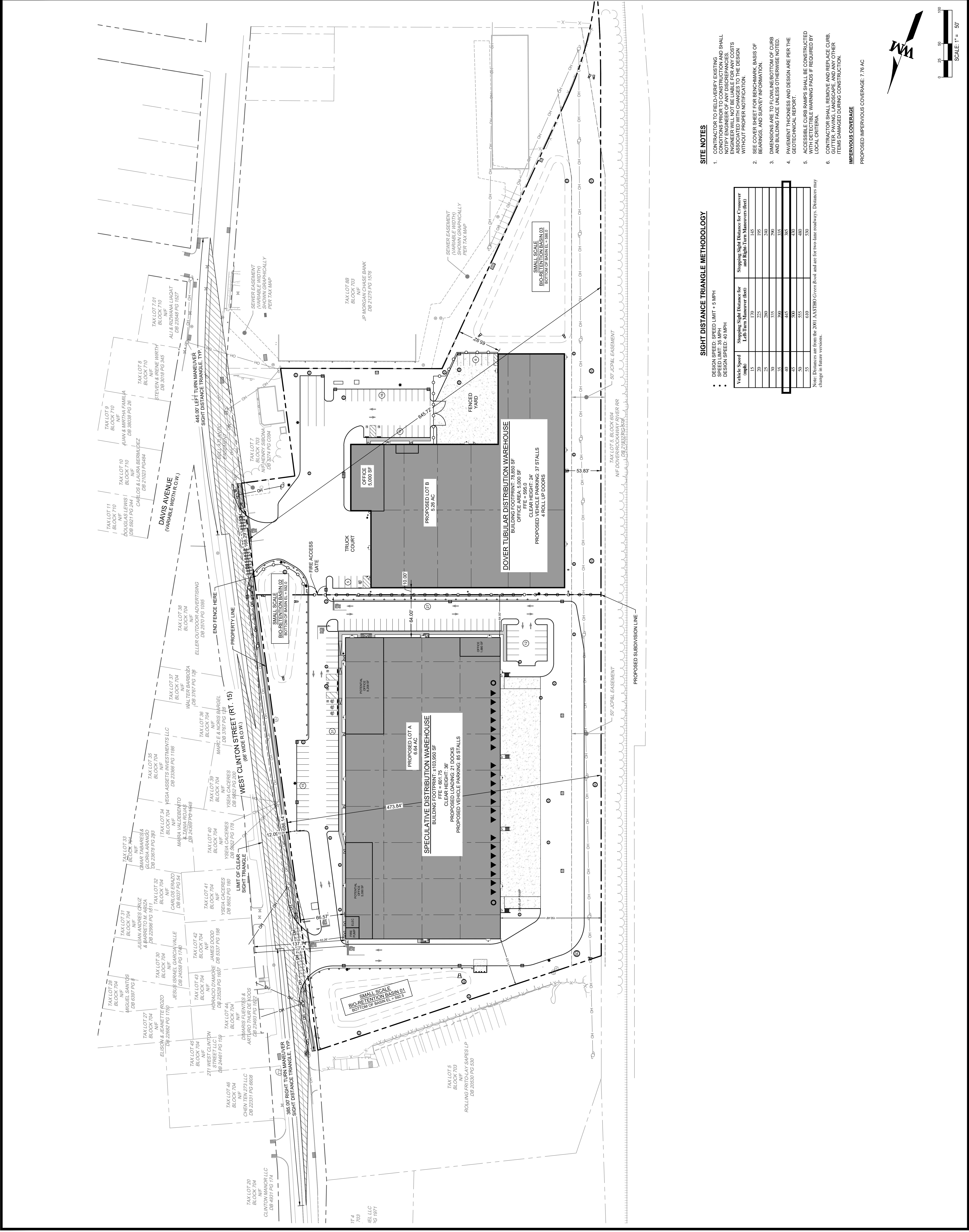
DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

200 W. CLINTON STREET

TOWN OF DOVER, NEW JERSEY 07801

OVERALL SITE PLAN	
NO.	DATE
01	03/12/2024
02	06/27/2024
03	09/28/2024
04	09/28/2024
05	09/28/2025
06	07/02/2026
REMARKS	
RESPONSE TO TOWN COMMENTS FROM 9/22/2023	
PER ELLER OUTDOOR ADVERTISING	
UPDATED RESOLUTION COMPLIANCE SET	
SUBMITTED FOR TOWN OF DOVER SIGNATURE	
SITE PLAN AMENDMENT	

JOB NO.:	NJ22-4041
PAI / PM:	E. WILKES
DESIGNED:	M. SUMMITT
DATE:	09/19/23
PLOT DATE:	07/02/26



SIGHT DISTANCE TRIANGLE METHODOLOGY

- DESIGN SPEED: 35 MPH
- DESIGN SPEED: 40 MPH
- DESIGN SPEED: 45 MPH

Vehicle Speed (mph)	Stopping Sight Distance for Left-Turn Maneuver (feet)	Stopping Sight Distance for Crossover and Right-Turn Maneuvers (feet)
15	170	125
20	220	160
25	280	200
30	335	240
35	390	280
40	445	320
45	500	360
50	555	400
55	610	440

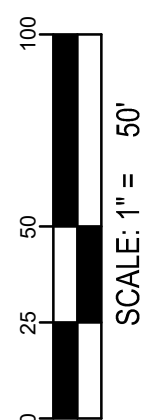
Note: Distances are from the 2001 AASHTO Green Book and are for two-lane roadways. Distances may change in future versions.

SITE NOTES

- CONTRACTOR TO FIELD-VERIFY EXISTING CONDITIONS AND RECORD ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
- DIMENSIONS ARE TO FLOWLINE/BOTTOM OF CURB AND BUILDING FACE UNLESS OTHERWISE NOTED.
- PAVEMENT THICKNESS AND DESIGN ARE PER THE GEOTECHNICAL REPORT.
- ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PAVES IF REQUIRED BY LOCAL CRITERIA.
- CONTRACTOR SHALL REMOVE AND REPLACE CURB, GUTTER, PAVING, LANDSCAPE, AND ANY OTHER ITEMS DAMAGED DURING CONSTRUCTION.

IMPERVIOUS COVERAGE

PROPOSED IMPERVIOUS COVERAGE: 7.76 AC



SCALE: 1" = 50'

NO.	DATE	REMARKS
01	03/12/2024	RESPONSE TO TOWN COMMENTS FROM 9/22/23
02	02/28/2024	REVISION FOR BID DOCUMENTS
03	06/21/2024	PER RESOLUTION COMPLIANCE COMMENTS
04	09/28/2024	UPDATED RESOLUTION COMPLIANCE SET
05	09/28/2025	SUBMITTED FOR TOWN OF DOVER SIGNATURE
06	07/02/2026	SITE PLAN AMENDMENT

JOB NO.:	NJ22-4041
PAI / PM:	E. WILKES
DESIGNED:	M. SUMMITT
DATE:	09/19/23
PLOT DATE:	07/02/26

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

200 W. CLINTON STREET

TOWN OF DOVER, NEW JERSEY 07801

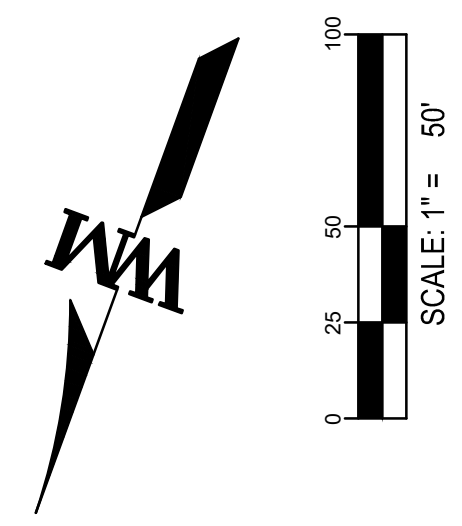
FOR AND ON BEHALF OF WARE MALCOMB

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Newark, NJ 07102
p 232.986.9000
waremalcomb.com

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CIVIL ENGINEERING
New Jersey Certificate of Authorization No.: 246A28324300



- EXISTING CONDITIONS NOTES**
- THE PROPERTY BOUNDARY, PLANIMETRIC, AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS REFERENCED FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY TAX LOT 8 BLOCK 703 PREPARED BY DOVER CONSULTING, LLC., DATED MARCH 30, 2023.
 - THE ON-SITE WETLANDS SHOWN HEREIN ARE IDENTIFIED IN A FRESHWATER WETLANDS LETTER OF INTERPRETATION (LOI), FILE NO. 1409-15-0002.1, FWW200001, APPROVED NOVEMBER 2015. ALL WETLANDS WERE DEEMED "ORDINARY" RESOURCE WETLANDS. ORDINARY RESOURCE WETLANDS DO NOT APPLY TO PROPOSED DEVELOPMENT. THE LOI EXTENSION WAS APPROVED MAY 2021 AND REMAINS VALID TO NOVEMBER 9 2025.
- IMPERVIOUS COVERAGE**
- EXISTING IMPERVIOUS COVERAGE: 3.12 AC



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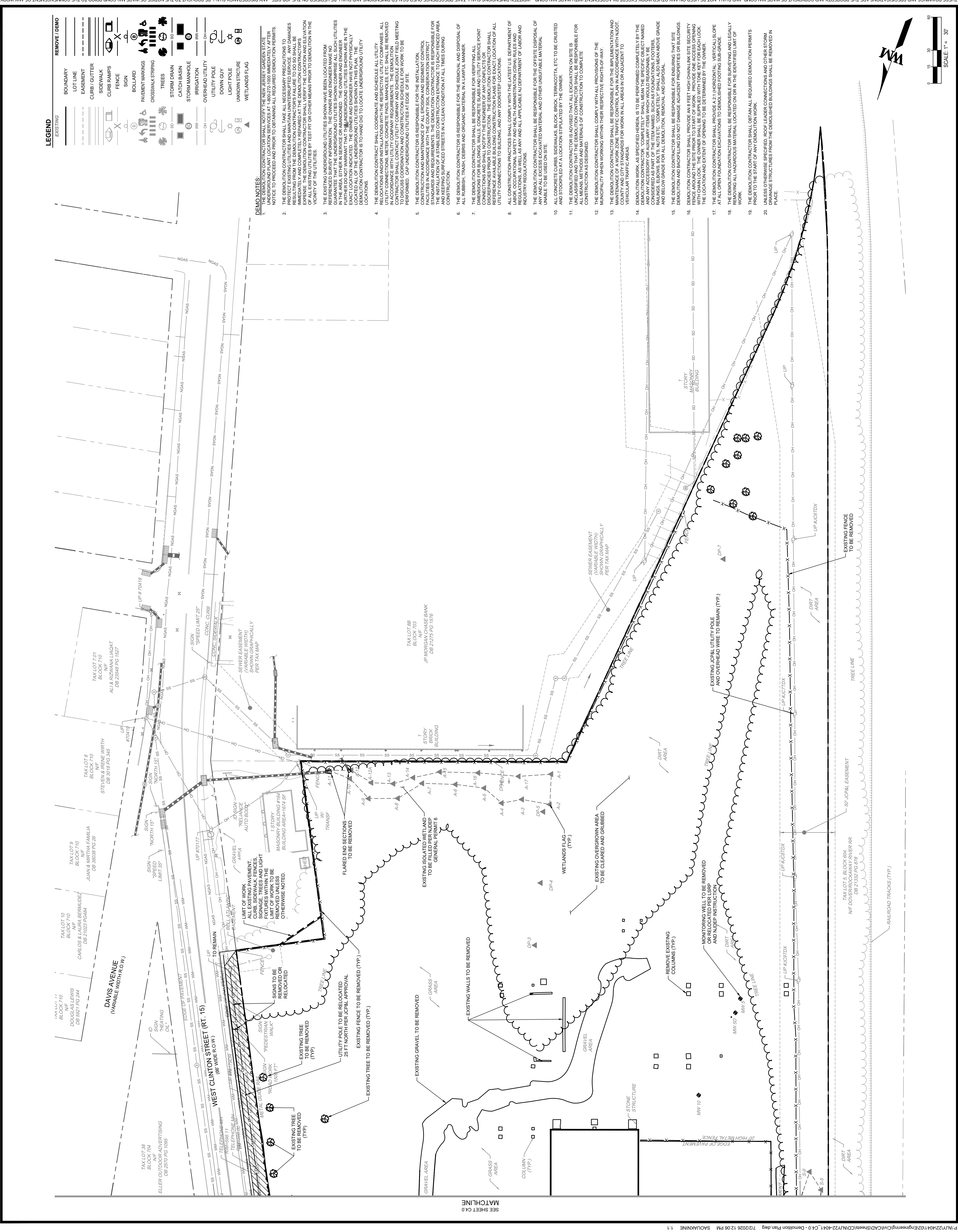
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New Jersey Certificate of Authorization No.: 24GA2634300

FOR AND ON BEHALF
OF WARE MALCOMB

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

200 W. CLINTON STREET
TOWN OF DOVER, NEW JERSEY 07801

SHEET		C4.1		Sheet 06 of 33	
NO	DATE	DESIGNED:	PA / PMC:	JOB NO.:	
01	03/12/2024	M. SUMMITT	E. WILKES	N4722-041	
02	03/26/2024				
03	03/27/2024				
04	05/23/2024				
05	05/28/2025				
06	07/02/2026				
REMARKS RESPONSE TO TOWN COMPLAINTS FROM 9/12/23 ISSUED FOR BID DOCUMENTS UPDATED RESOLUTION COMPLIANCE COMMENTS UPDATED RESOLUTION COMPLIANCE SET SUBMITTED FOR TOWN OF DOVER SIGNATURE SITE PLAN AMENDMENT					



NO.	DATE
01	03/12/2024
02	06/27/2024
03	08/27/2024
04	09/28/2024
05	09/28/2025
06	07/02/2026

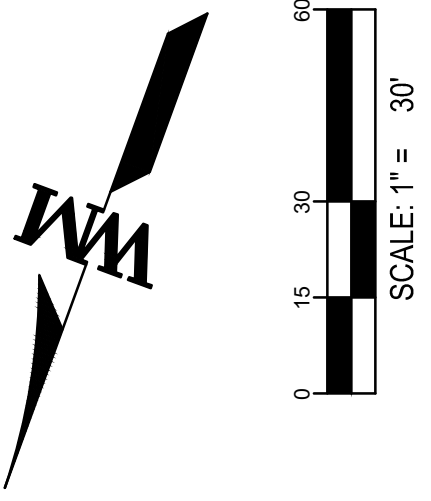
REMARKS	
RESPONSE TO TOWN COMMENTS FROM 9/22/23	
ISSUED FOR BID DOCUMENTS	
PER RESOLUTION COMPLIANCE COMMENTS	
UPDATED RESOLUTION COMPLIANCE SET	
SUBMITTED FOR TOWN OF DOVER SIGNATURE	
SITE PLAN AMENDMENT	

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

200 W. CLINTON STREET TOWN OF DOVER, NEW JERSEY 07801

FOR AND ON BEHALF
OF WARE MALCOMB

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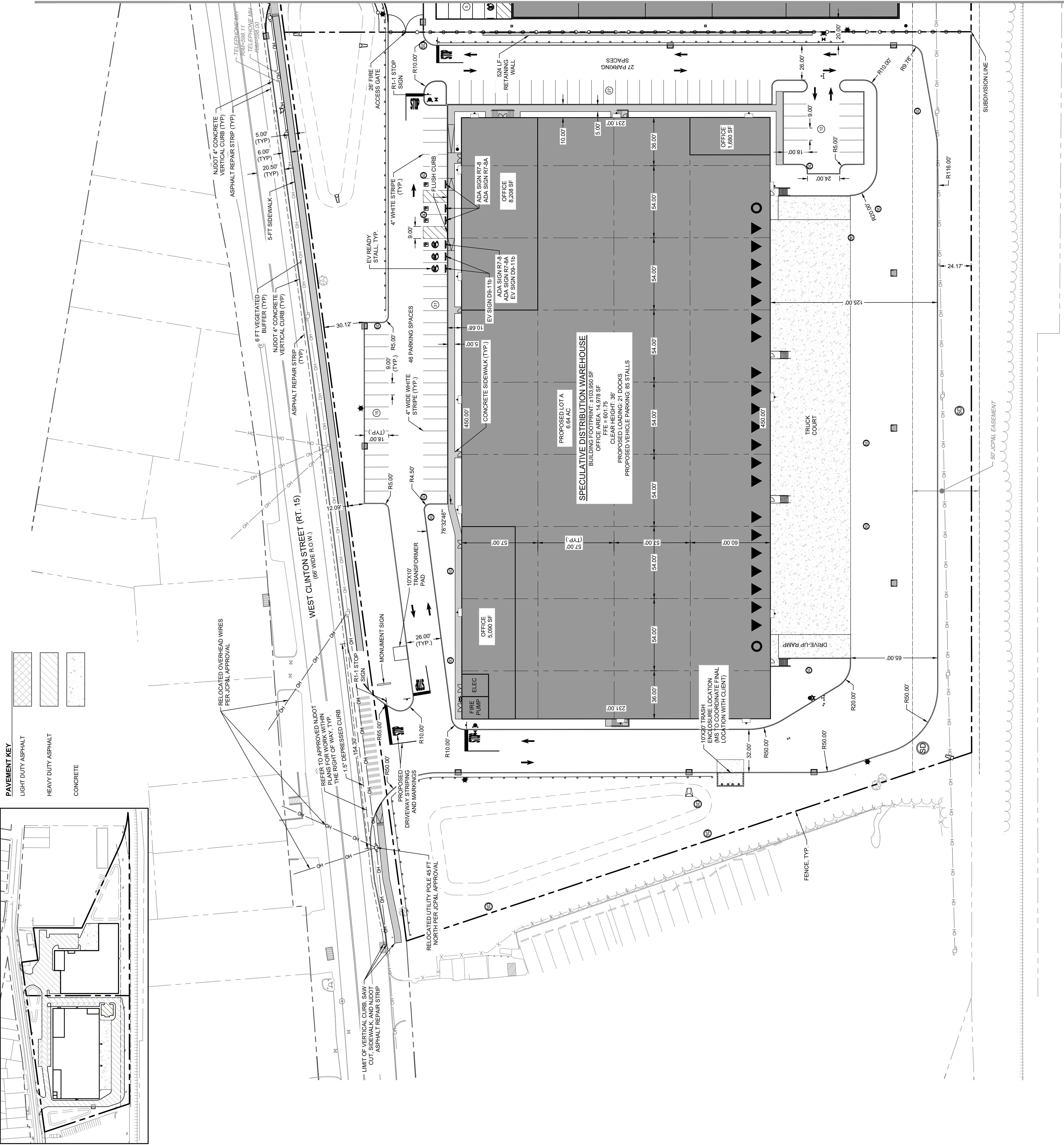
SEE SHEET C5.1

SITE NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS INCURRED BY CONTRACTOR DUE TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
- DIMENSIONS ARE TO FLOWLINE BOTTOM OF CURB AND BUILDING FACE UNLESS OTHERWISE NOTED.
- PAVEMENT THICKNESS AND DESIGN ARE PER THE GEOTECHNICAL REPORT.
- ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTIBLE WARNING PADS IF REQUIRED BY LOCAL CRITERIA.
- CONTRACTOR SHALL REMOVE AND REPLACE CURB, GUTTER, PAVING, LANDSCAPE, AND ANY OTHER ITEMS DAMAGED DURING CONSTRUCTION.

LEGEND

PROPOSED
BOUNDARY
LOT LINE
EASEMENT
CENTERLINE
CURB / GUTTER
BUILDING
SIDEWALK
FENCE
SIGN
BOLLARD
PAVEMENT MARKINGS
CROSSWALK STRIPING
STORM INLET
OVERHEAD UTILITY
UTILITY POLE
HYDRANT
MAN DOOR
ROLLUP DOOR
GUIDE RAIL
RETAINING WALL
CURB RAMP (MAX SLOPE)
EV READY
PARKING SPALL MARKINGS
REPAIR STRIP
LIGHT POLE
WALL PACK



JOB NO.:	NJ\22-1041
PAI / PM:	E. WILKES
DESIGNED:	M. SUMMITT
DATE:	08/18/23
PLOT DATE:	07/02/26

EMERGENCY VEHICLE CIRCULATION PLAN	
NO.	DATE
01	03/12/2024
02	03/28/2024
03	06/27/2024
04	09/28/2024
05	09/28/2025
06	07/02/2026
REMARKS	
RESPONSE TO TOWN COMMENTS FROM 9/22/23	
PER RESOLUTION COMPLIANCE COMMENTS	
ISSUED FOR BID DOCUMENTS	
UPDATED RESOLUTION COMPLIANCE SET	
SUBMITTED FOR TOWN OF DOVER SIGNATURE	
SITE PLAN AMENDMENT	

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

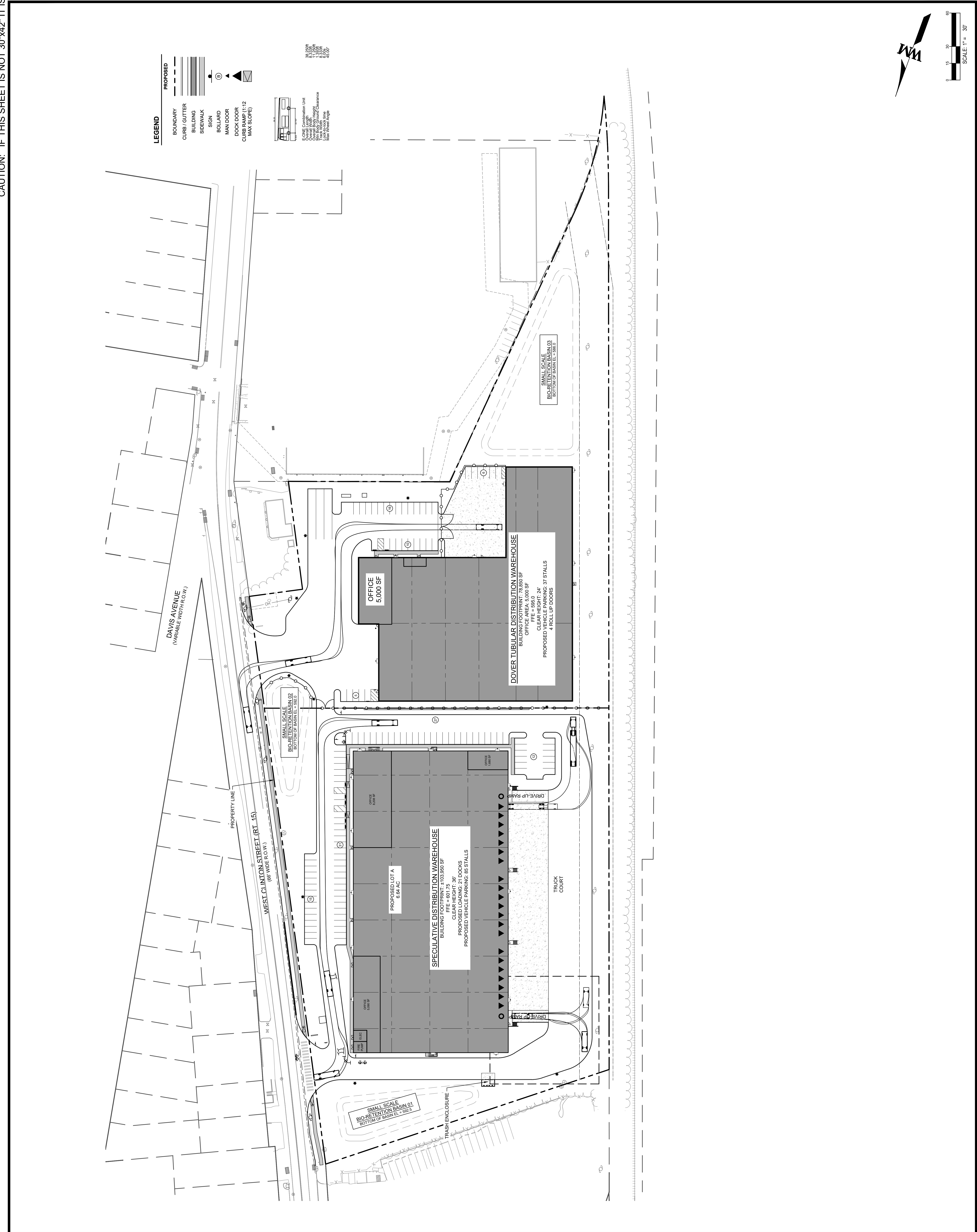
200 W. CLINTON STREET
TOWN OF DOVER, NEW JERSEY 07801

FOR AND ON BEHALF
OF WARE MALCOMB

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New Jersey Certificate of Authorization No.: 24GA28324300

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CO

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DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

200 W. CLINTON STREET

TOWN OF DOVER, NEW JERSEY 07801

GRADING PLAN

REMARKS

NO. 01 03/12/2024 RESPONSE TO TOWN COMMENTS FROM 9/22/23

NO. 02 06/27/2024 SUBMIT FOR BIO DOCUMENTS

NO. 03 06/27/2024 PER RESOLUTION COMPLIANCE COMMENTS

NO. 04 09/28/2024 UPDATED RESOLUTION COMPLIANCE SET

NO. 05 09/28/2025 SUBMITTED FOR TOWN OF DOVER SIGNATURE

NO. 06 07/02/2026 SITE PLAN AMENDMENT

JOB NO.: NJV22-4041

PAI / PM: E. WILKES

DESIGNED: M. SUMMITT

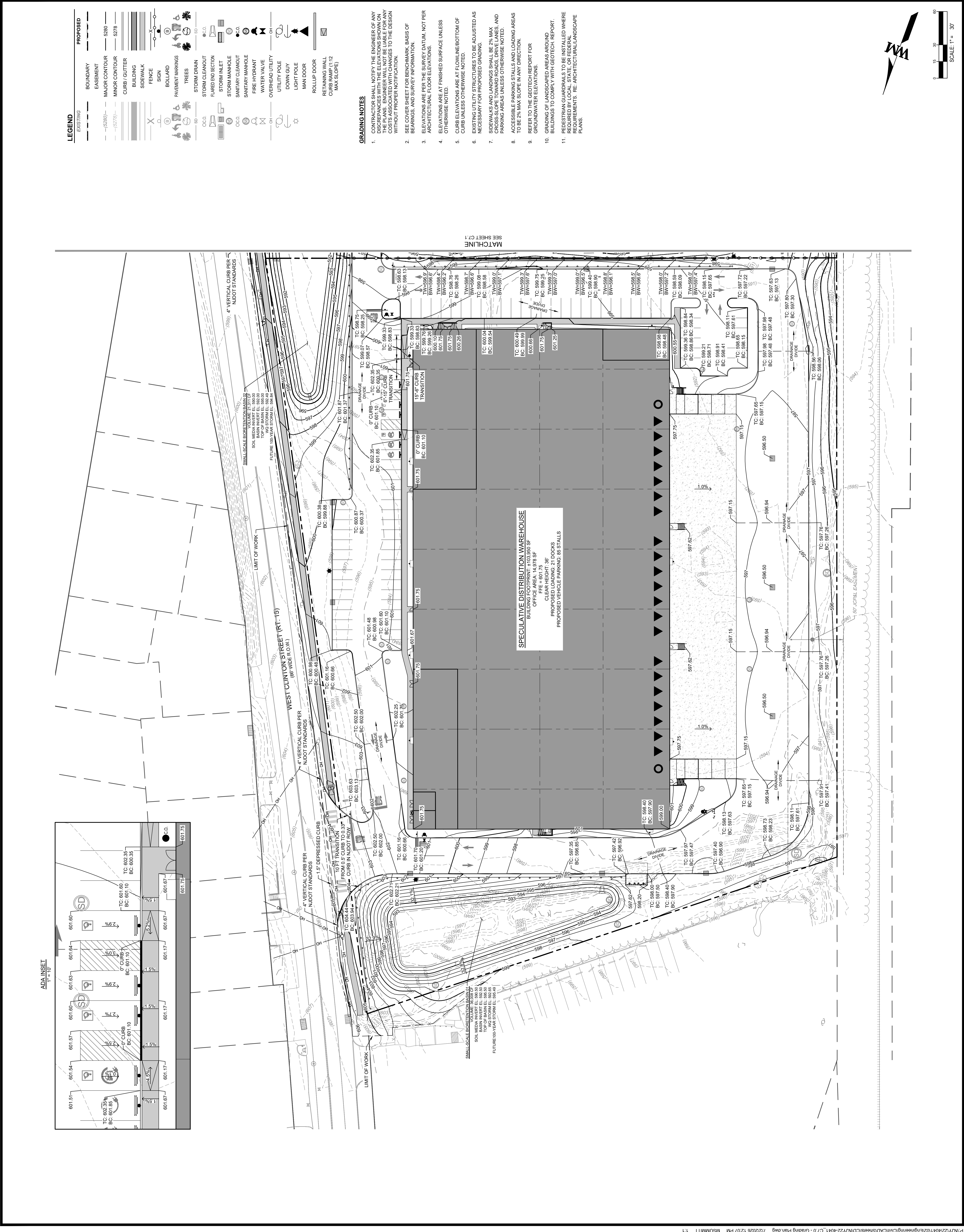
DATE: 08/19/23

PLOT DATE: 07/02/26

SHEET

C7.0

11 of 33



GRADING NOTES

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THIS PLAN. THE ENGINEER SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
- ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
- ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
- CURB ELEVATIONS ARE AT FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- SEWERLINES AND LANDINGS SHALL BE 2% MAX. CROSS-SLOPE TOWARD ROADS, DRIVE LANES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
- ACCESSIBLE PARKING STALLS AND LOADING AREAS TO BE 2% MAX SLOPE IN ANY DIRECTION.
- REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
- GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH REPORT.
- PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS. RE: ARCHITECTURAL LANDSCAPE PLANS.

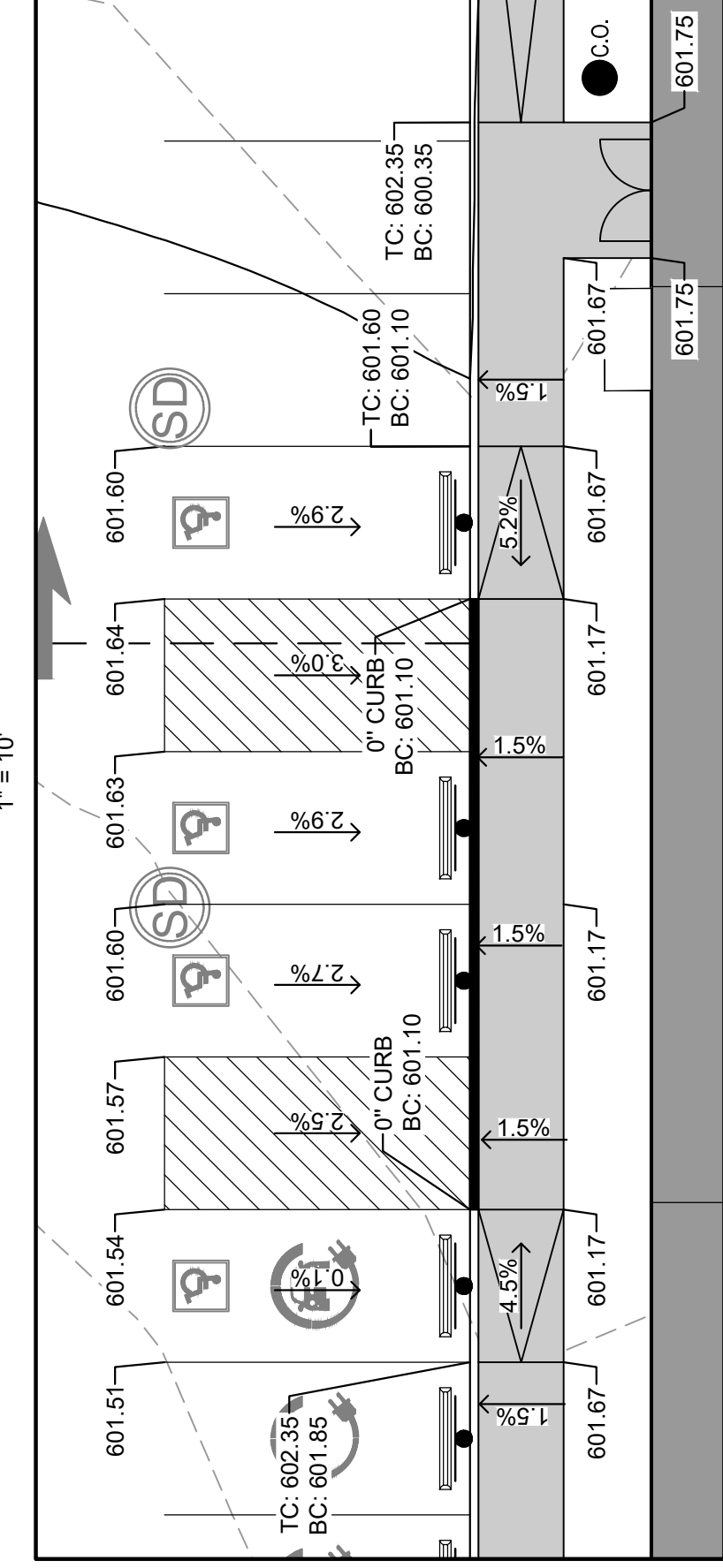
LEGEND

EXISTING	PROPOSED
BOUNDARY	BOUNDARY
EASEMENT	EASEMENT
MAJOR CONTOUR	5280
MINOR CONTOUR	5278
CURB / GUTTER	CURB / GUTTER
BUILDING	BUILDING
SIDEWALK	SIDEWALK
FENCE	FENCE
SIGN	SIGN
BOLLARD	BOLLARD
PAVEMENT MARKINGS	PAVEMENT MARKINGS
TREES	TREES
STORM DRAIN	STORM DRAIN
STORM CLEANOUT	STORM CLEANOUT
FLARED END SECTION	FLARED END SECTION
STORM INLET	STORM INLET
STORM MANHOLE	STORM MANHOLE
SANITARY CLEANOUT	SANITARY CLEANOUT
SANITARY MANHOLE	SANITARY MANHOLE
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
OVERHEAD UTILITY	OVERHEAD UTILITY
UTILITY POLE	UTILITY POLE
DOWN GUY	DOWN GUY
LIGHT POLE	LIGHT POLE
MAN DOOR	MAN DOOR
ROLLUP DOOR	ROLLUP DOOR
RETAINING WALL	RETAINING WALL
CURB ELEVATION	CURB ELEVATION

SPECULATIVE DISTRIBUTION WAREHOUSE

BUILDING FOOTPRINT: 110,350 SF
OFFICE AREA: 4,978 SF
CLEAR HEIGHT: 38'
PROPOSED LOADING: 21 DOCKS
PROPOSED VEHICLE PARKING: 85 STALLS

ADA INSET



SEE SHEET C7.1

MATCHLINE

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waremalcomb.com

suite 303

FOR AND ON BEHALF OF WARE MALCOMB

FOR AND ON BEHALF OF WARE MALCOMB

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL SITE PLAN AND SUBDIVISION APPLICATION

200 W. CLINTON STREET

TOWN OF DOVER, NEW JERSEY 07801

REMARKS	
NO	DATE
01	03/12/2024
02	06/27/2024
03	08/28/2024
04	09/28/2024
05	09/28/2025
06	07/02/2026
SHEET	
C8.0	
13 of 33	
Sheet	
DRAINAGE PLAN	
JOB NO.: NJY22-4041	
PA / PM: E WILKES	
DESIGNED: M SUMMITT	
DATE: 08/19/23	
PLOT DATE: 07/02/26	
RESPONSE TO TOWN COMMENTS FROM 9/22/23	
PER RESOLUTION NO. 10000 COMMENTS	
SUBMIT FOR BID DOCUMENTS	
UPDATED RESOLUTION COMPLAINT SET	
SUBMITTED FOR TOWN OF DOVER SIGNATURE	
SITE PLAN AMENDMENT	

SCOUR HOLE DESIGN TABLE

Description	Pipe Width (ft)	Pipe Depth (ft)	Pipe Diameter (in)	Apron		Median Riprap Diameter (in)	Apron Thickness (in)
				Length (ft)	Width (ft)		
FES - A14	1.50	1.50	10.56	0.30	9'	7.5'	11"
FES - B12	1.50	1.50	7.51	0.30	9'	7.5'	7"
FES - B24	1.50	1.50	4.24	0.30	9'	7.5'	4"
FES - C17	2.00	2.00	12.74	0.40	12'	10'	8"
FES - C26	1.50	1.50	7.15	0.30	9'	7.5'	14"
BYPASS	5.00	3.17	12674	0.63	19.02'	19.51'	56"

SCALE: 1" = 30'

0 15 30 60

WM

LEGEND

EXISTING

PROPOSED

BOUNDARY

LOT LINE

EASEMENT

MAJOR CONTOUR

MINOR CONTOUR

CURE / GUTTER

BUILDING

SIDEWALK

FENCE

BOLLARD

PAVEMENT MARKINGS

CROSSWALK STRIPING

TREES

STORM DRAIN

STORM CLEANOUT

FLARED END SECTION

STORM INLET

STORM MANHOLE

SANITARY CLEANOUT

FIRE HYDRANT

WATER VALVE

OVERHEAD UTILITY

UTILITY POLE

MAN DOOR

RETAINING WALL

CURB RAMP (MAX 1:12 SLOPE)

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY THE ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITY WORK WILL OCCUR AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS. EXISTING UTILITIES SHALL BE PROTECTED AND ASSIGNED WITH CHARGES FOR ANY COSTS WITHOUT PROPER NOTIFICATION.

2. SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.

3. PROPOSED DRY UTILITIES ARE SHOWN FOR INFORMATION ONLY. REFER TO PLANS BY UTILITY PROVIDERS AND/OR MEP.

4. EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.

5. REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.

6. MANHOLES ARE CONTROLLED AT CENTER OF MANHOLE.

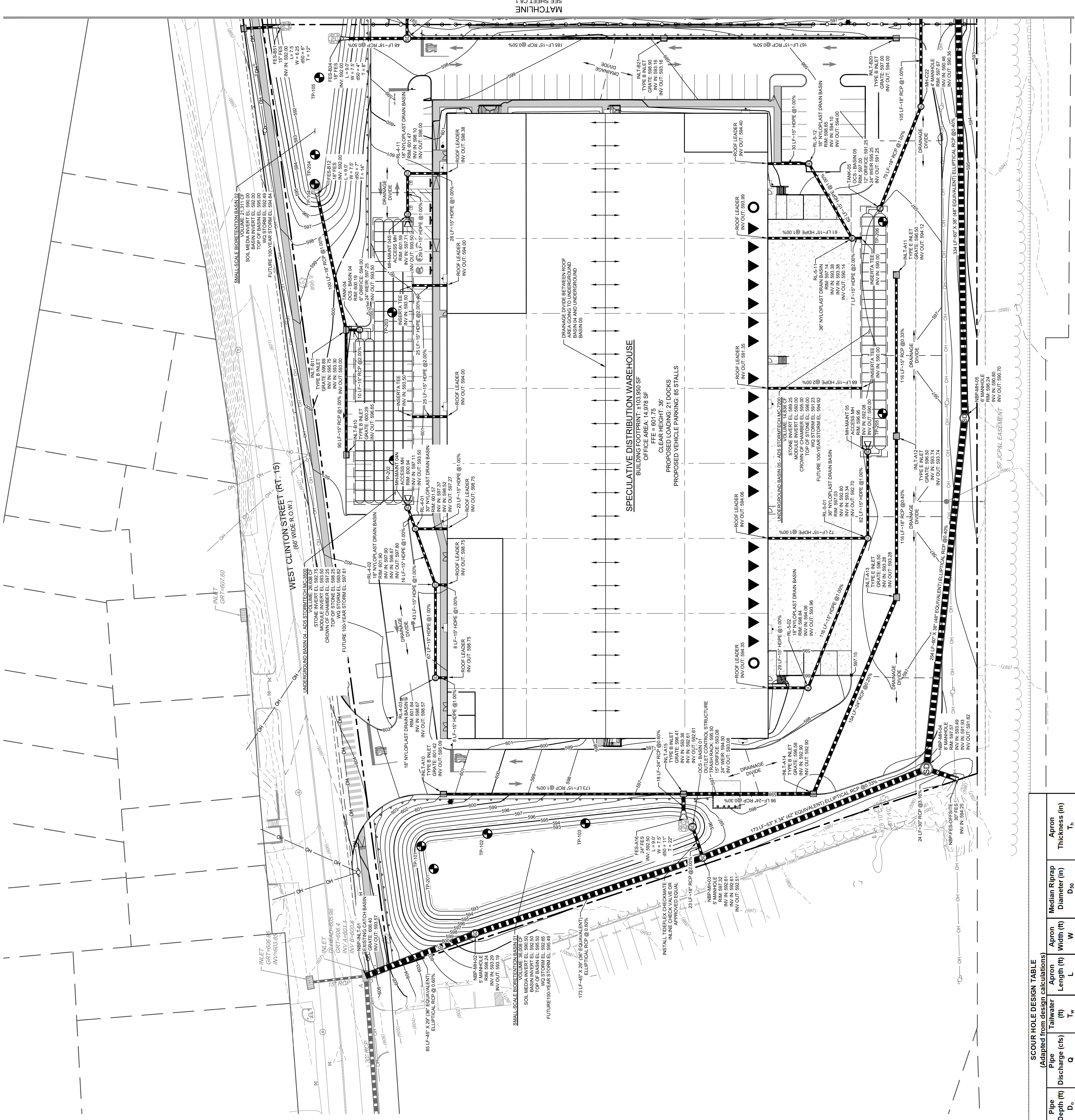
7. ALL RCP TO BE CLASS III OR APPROVED EQUIVALENT UNLESS OTHERWISE NOTED.

8. ALL STORM AND SANITARY PIPS TO BE SDR35 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.

9. ALL WATER PIPS TO BE C900 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.

TEST PIT INFILTRATION RATE

Test Pit ID	Basin ID	Infiltration Rate (in/hr)	Groundwater El. from SHWT (ft)	Separation (ft)
TP-101	BR-01	3.0	NE @ 550.0	> 8.5
TP-102	BR-01	3.0	NE @ 550.0	> 8.5
TP-103	BR-01	0.0	NE @ 550.0	> 8.5
TP-104	BR-02	3.0	NE @ 550.0	> 8.0
TP-110	BR-03	1.0	NE @ 576.0	6.0
TP-111	BR-03	1.5	NE @ 576.0	6.0
TP-112	BR-03	1.0	NE @ 576.0	6.0
TP-201	BR-01	3.0	NE @ 550.0	> 8.5
TP-202	UG-04	0.8	NE @ 552.5	> 13.5
TP-203	UG-04	0.0	NE @ 578.5	> 13.5
TP-204	BR-02	2.0	NE @ 552.0	> 8.0
TP-205	UG-05	1.0	NE @ 591.0	> 9.75
TP-206	UG-05	0.5	NE @ 590.0	> 9.75
TP-209	UG-06	0.5	NE @ 575.0	6.75
TP-210	UG-06	0.5	NE @ 577.5	6.75
TP-211	UG-06	0.0	NE @ 577.5	6.75
TP-212b	BR-03	6.0	NE @ 577.0	6.0



SCOUR HOLE DESIGN TABLE							
Adapted from design calculations							
Description	Pipe Width (ft)	Pipe Depth (ft)	Pipe Diameter (in)	Apron		Median Riprap Diameter (in)	Apron Thickness (in)
				Length (ft)	Width (ft)		
FES - A14	1.50	1.50	10.56	0.30	9'	7.5'	11"
FES - B12	1.50	1.50	7.51	0.30	9'	7.5'	7"
FES - B24	1.50	1.50	4.24	0.30	9'	7.5'	4"
FES - C17	2.00	2.00	12.74	0.40	12'	10'	8"
FES - C26	1.50	1.50	7.15	0.30	9'	7.5'	14"
BYPASS	5.00	3.17	12674	0.63	19.02'	19.51'	56"

NO	DATE	REMARKS
01	03/12/2024	RESPONSE TO TOWN COMMENTS FROM 9/22/23
02	03/28/2024	PER RESOLUTION FOR BIO DOCUMENTS
03	06/27/2024	UPDATED RESOLUTION COMPLIANCE COMMENTS
04	09/28/2024	UPDATED RESOLUTION COMPLIANCE COMMENTS
05	09/28/2025	SUBMITTED FOR TOWN OF DOVER SIGNATURE
06	07/02/2026	SITE PLAN AMENDMENT

JOB NO:	NJ22-4041
PA/PM:	E. WILKES
DESIGNED:	M. SUMMITT
DATE:	08/19/23
PLOT DATE:	07/02/26

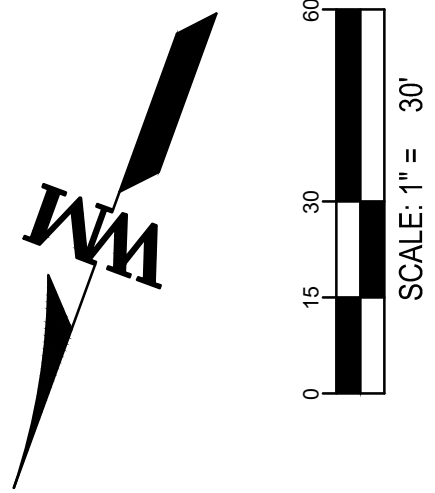
UTILITY PLAN

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL
SITE PLAN AND SUBDIVISION APPLICATION
200 W. CLINTON STREET
TOWN OF DOVER, NEW JERSEY 07801

FOR AND ON BEHALF
OF WARE MALCOMB

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waremalcomb.com

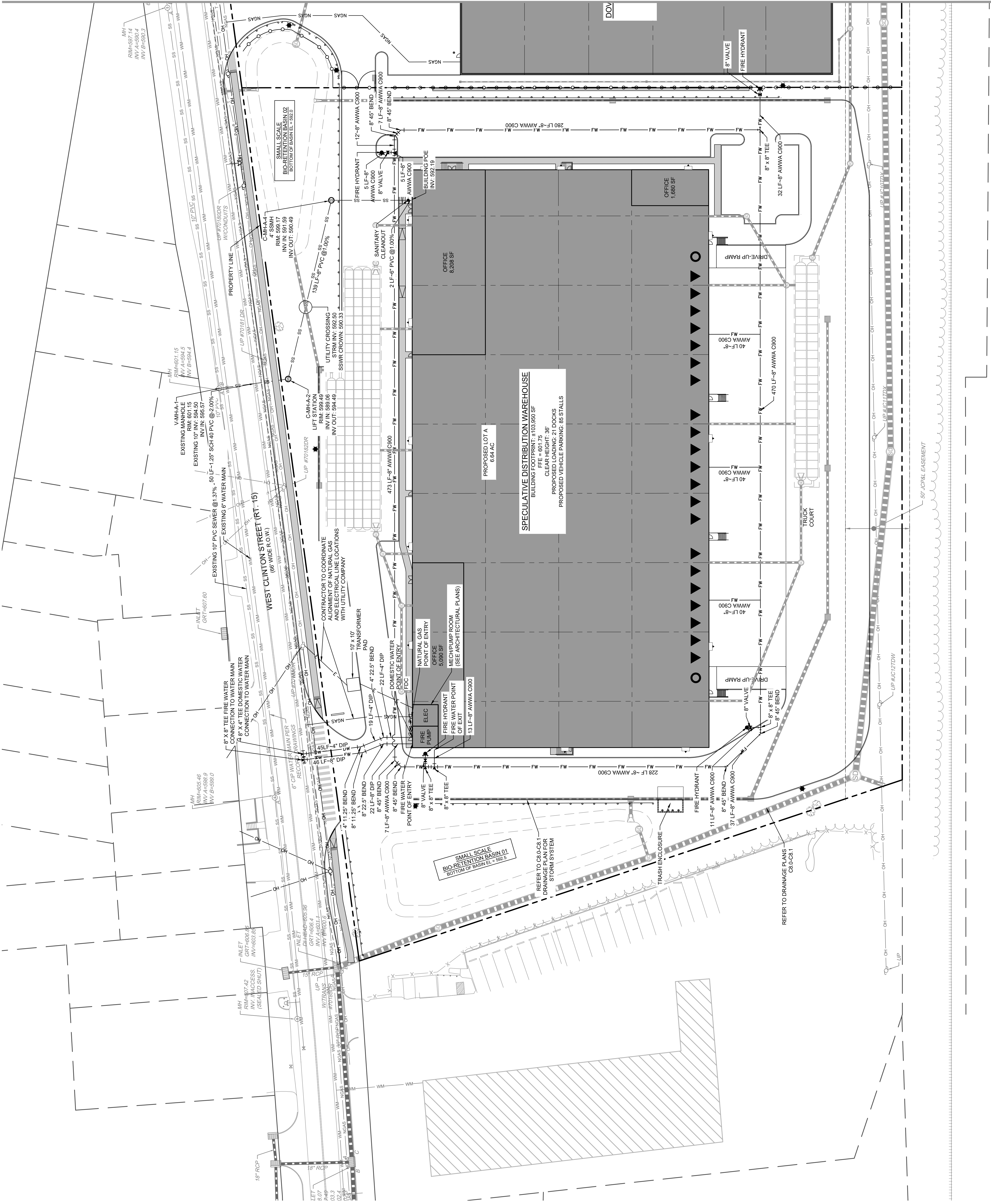
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CIVIL ENGINEERING
New Jersey Certificate of Authorization No.: 24GA28324300



DOVER WATER COMMISSION NOTE:
6" INSERTION VALVES MAY BE REQUIRED DURING CONSTRUCTION IF THE DOVER WATER COMMISSION DETERMINES THAT A WET TAP OF THE EXISTING WATER MAIN IS NOT FEASIBLE.

- UTILITY NOTES**
- CONTRACTOR SHALL VERIFY THE ELEVATION OF ALL EXISTING UTILITIES WHERE NEW GRADING OR UTILITY WORK WILL OCCUR AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
 - SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
 - PROPOSED DR UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY UTILITY PROVIDERS AND/OR MEP.
 - EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
 - REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
 - MANHOLES ARE CONTROLLED AT CENTER OF MANHOLE.
 - ALL RCP TO BE CLASS III OR APPROVED EQUIVALENT UNLESS OTHERWISE NOTED.
 - ALL STORM AND SANITARY PVC TO BE SDR36 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.
 - ALL WATER P/C TO BE C900 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.

EXISTING	PROPOSED
BOUNDARY	BOUNDARY
LOT LINE	LOT LINE
EASEMENT	EASEMENT
MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR
CURE / GUTTER	CURE / GUTTER
BUILDING	BUILDING
SIDEWALK	SIDEWALK
FENCE	FENCE
SIGN	SIGN
BOLLARD	BOLLARD
PAVEMENT MARKINGS	PAVEMENT MARKINGS
CROSSWALK STRIPING	CROSSWALK STRIPING
TREES	TREES
STORM DRAIN	STORM DRAIN
STORM CLEANOUT	STORM CLEANOUT
FLARED END SECTION	FLARED END SECTION
STORM INLET	STORM INLET
STORM MANHOLE	STORM MANHOLE
SANITARY	SANITARY
SANITARY CLEANOUT	SANITARY CLEANOUT
SANITARY MANHOLE	SANITARY MANHOLE
WATERLINE	WATERLINE
FIRE LINE	FIRE LINE
DOMESTIC LINE	DOMESTIC LINE
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER FITTINGS	WATER FITTINGS
OVERHEAD UTILITY	OVERHEAD UTILITY
UTILITY POLE	UTILITY POLE
DOWN GUY	DOWN GUY
LIGHT POLE	LIGHT POLE
TRAFFIC POLE	TRAFFIC POLE
BURIED ELECTRIC	BURIED ELECTRIC
NATURAL GAS	NATURAL GAS
GAS VALVE	GAS VALVE
TELEPHONE	TELEPHONE



NO.	DATE
01	03/12/2024
02	06/27/2024
03	08/28/2024
04	09/28/2024
05	09/28/2025
06	07/02/2026

REMARKS	
RESPONSE TO TOWN COMMENTS FROM 9/22/23	
ISSUED FOR BID DOCUMENTS	
PER RESOLUTION COMPLIANCE COMMENTS	
UPDATED RESOLUTION COMPLIANCE SET	
SUBMITTED FOR TOWN OF DOVER SIGNATURE	
SITE PLAN AMENDMENT	

JOB NO.:	NJ22-4041
PAI / PM:	E. WILKES
DESIGNED:	M. SUMMITT
DATE:	08/19/23
PLOT DATE:	07/22/26

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL

SITE PLAN AND SUBDIVISION APPLICATION

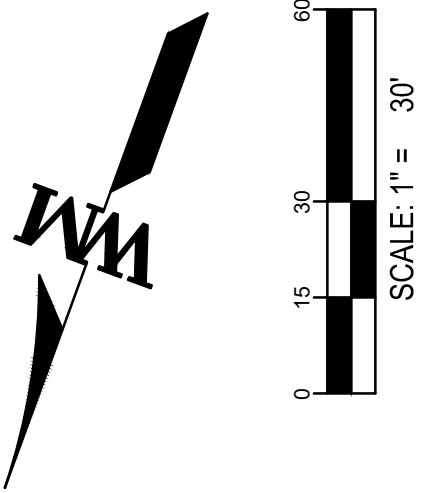
200 W. CLINTON STREET

TOWN OF DOVER, NEW JERSEY 07801

FOR AND ON BEHALF
OF WARE MALCOMB

110 Edison Place
Suite 303
Newark, NJ 07102
P 732.986.9000
waremalcomb.com

WARE MALCOMB
CIVIL ENGINEERING
New Jersey Certificate of Authorization No.: 246A2824300



SEE SHEET C5.1

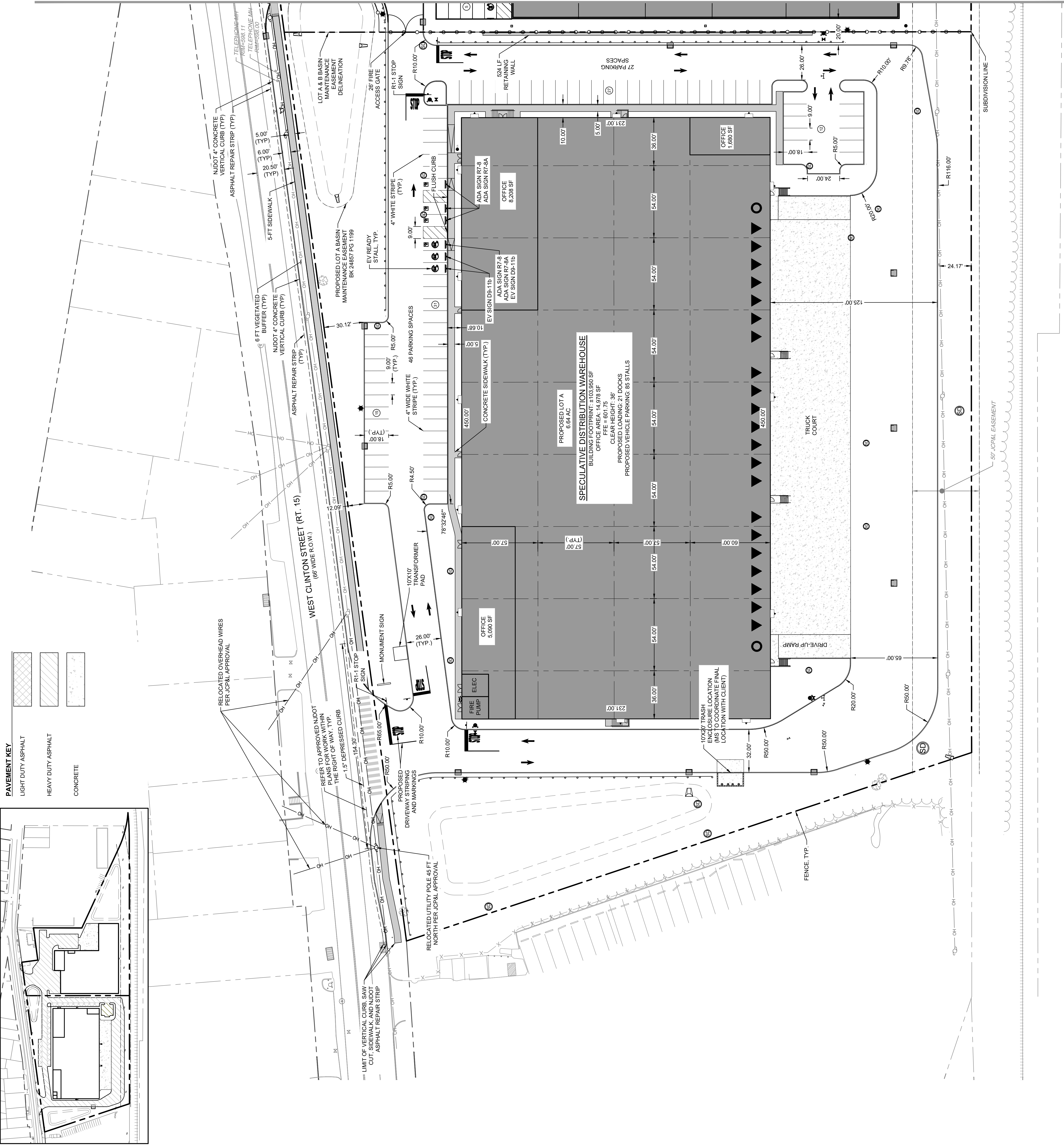
SITE NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS INCURRED BY CONTRACTOR DUE TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
- DIMENSIONS ARE TO FLOWLINE/BOTTOM OF CURB AND BUILDING FACE UNLESS OTHERWISE NOTED.
- PAVEMENT THICKNESS AND DESIGN ARE PER THE GEOTECHNICAL REPORT.
- ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTIBLE WARNING PADS IF REQUIRED BY LOCAL CRITERIA.
- CONTRACTOR SHALL REMOVE AND REPLACE CURB, GUTTER, PAVING, LANDSCAPE, AND ANY OTHER ITEMS DAMAGED DURING CONSTRUCTION.

LEGEND

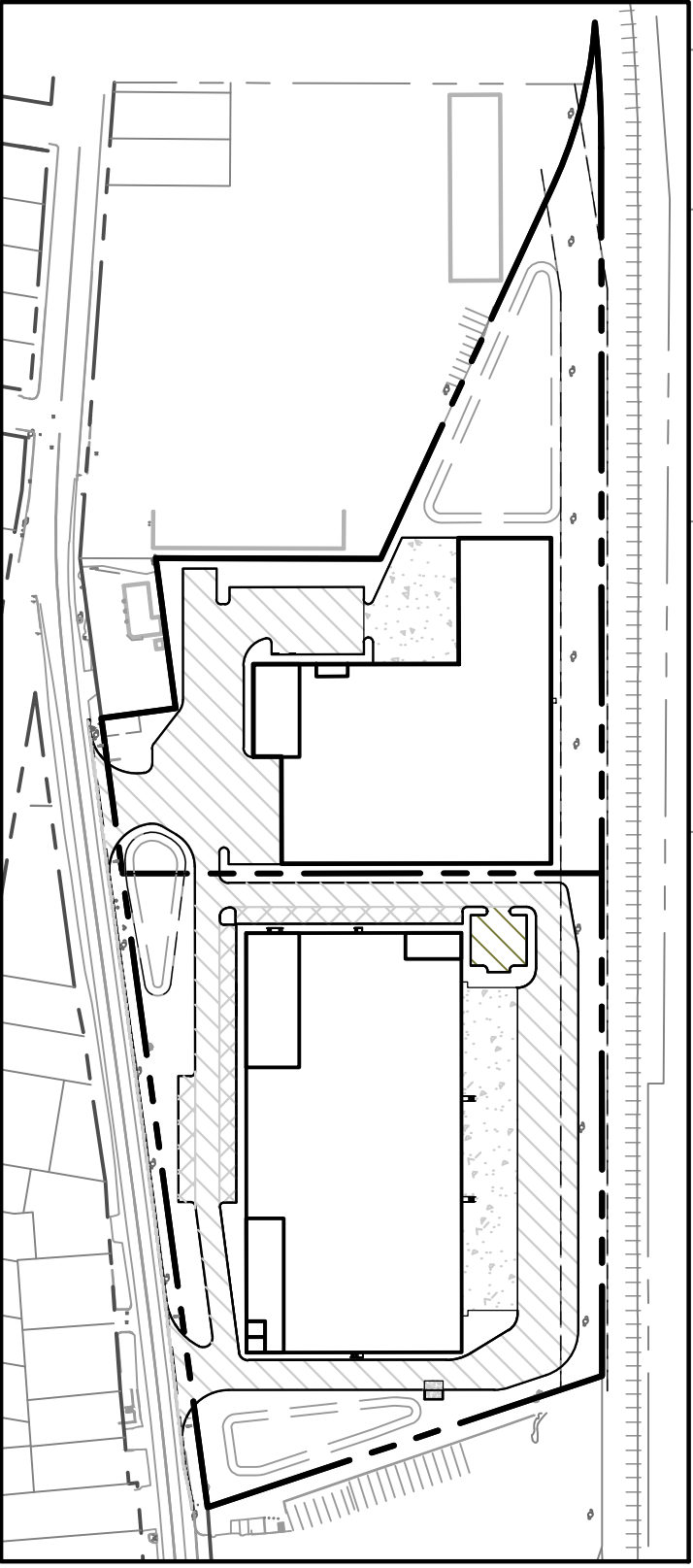
PROPOSED

- BOUNDARY
- LOT LINE
- EASEMENT
- CENTERLINE
- CURB / GUTTER
- BUILDING
- SIDEWALK
- FENCE
- SIGN
- BOLLARD
- PAVEMENT MARKINGS
- CROSSWALK STRIPING
- STORM INLET
- OVERHEAD UTILITY
- UTILITY POLE
- HYDRANT
- MAN DOOR
- ROLLUP DOOR
- GUIDE RAIL
- RETAINING WALL
- CHALK MARKING (1/2" MAX SLOPE)
- EV READY
- PARKING SPACES
- REPAIR STRIP
- REPAIR STRIP
- LIGHT POLE
- WALL PACK



PAVEMENT KEY

	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	CONCRETE



REMARKS	
NO.	DATE
01	03/12/2024
02	02/28/2024
03	02/28/2024
04	09/28/2024
05	09/28/2025
06	07/02/2026
SITE PLAN AMENDMENT	
SUBMITTED FOR TOWN OF DOVER SIGNATURE	
UPDATED RESOLUTION COMPLIANCE SET	
PER RESOLUTION COMPLIANCE COMMENTS	
ISSUED FOR BID DOCUMENTS	
RESPONSE TO TOWN COMMENTS FROM 9/22/23	

ENLARGED SITE PLAN

DOVER TUBULAR ALLOYS PRELIMINARY AND FINAL
SITE PLAN AND SUBDIVISION APPLICATION
200 W. CLINTON STREET
TOWN OF DOVER, NEW JERSEY 07801

FOR AND ON BEHALF
OF WARE MALCOMB

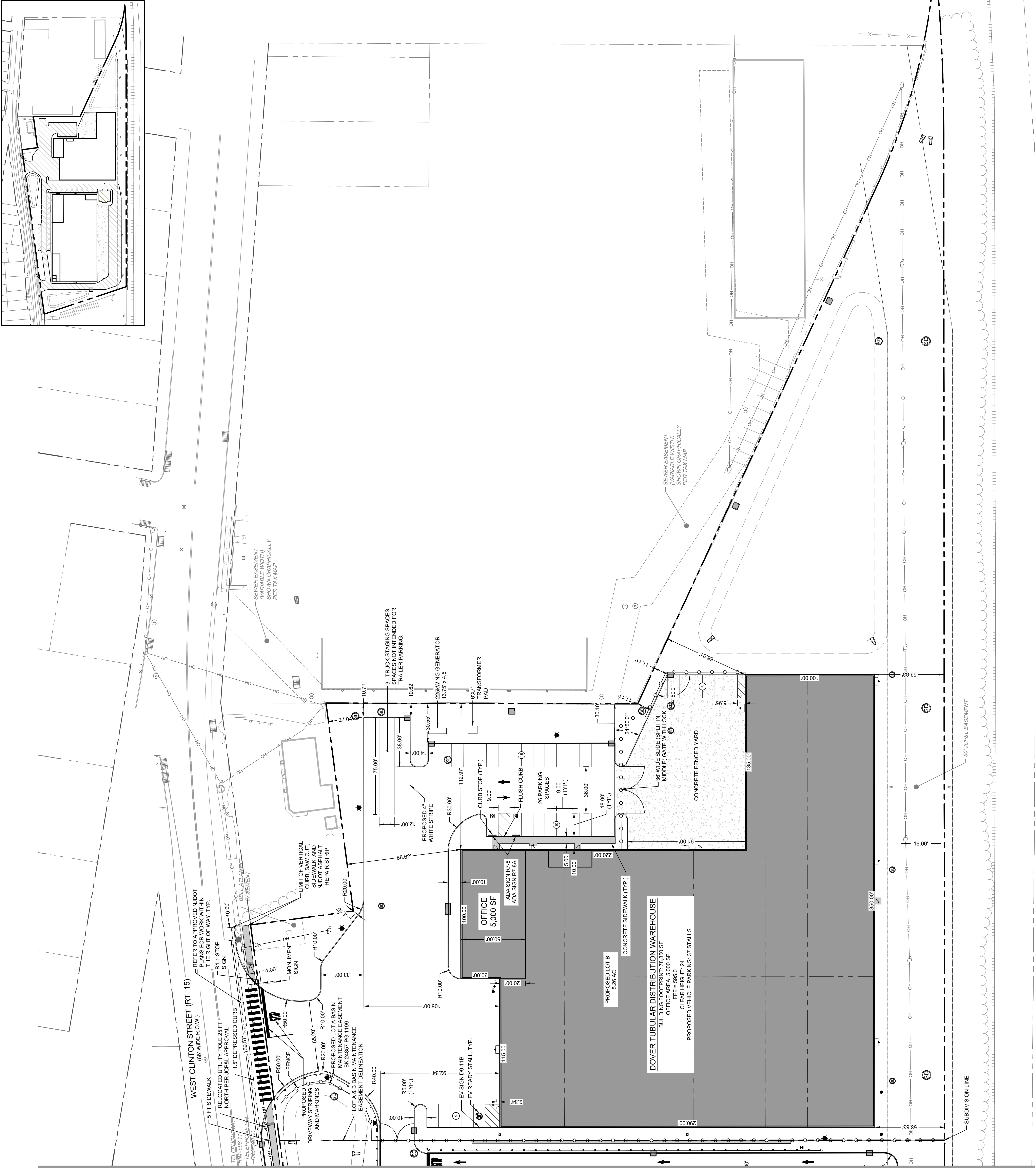
WARE MALCOMB
CIVIL ENGINEERING
New Jersey Certificate of Authorization No.: 24G42824300
P 732.986.9000
Newark, NJ 07102
Suite 303
110 Edison Place
waremalcomb.com

- SITE NOTES**
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS INCURRED BY CONTRACTOR DURING THE DESIGN WITHOUT PROPER NOTIFICATION.
 - SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
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 - ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTIBLE WARNING PADS IF REQUIRED BY LOCAL CRITERIA.
 - CONTRACTOR SHALL REMOVE AND REPLACE CURB, GUTTER, PAVING, LANDSCAPE, AND ANY OTHER ITEMS DAMAGED DURING CONSTRUCTION.

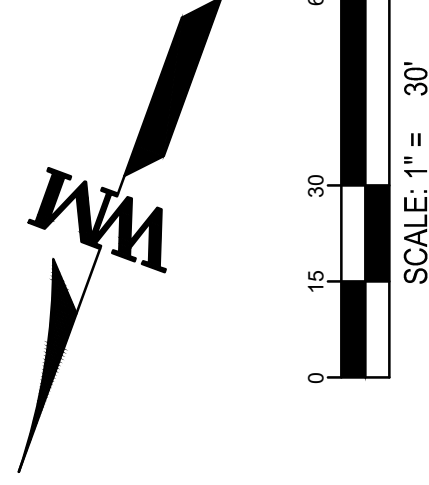
PAVEMENT KEY	
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	HEAVY DUTY ASPHALT
[Pattern]	CONCRETE

LEGEND

PROPOSED	
[Line Style]	BOUNDARY
[Line Style]	LOT LINE
[Line Style]	EASEMENT
[Line Style]	CENTERLINE
[Line Style]	CURB / GUTTER
[Line Style]	BUILDING
[Line Style]	SIDEWALK
[Line Style]	FENCE
[Line Style]	SIGN
[Symbol]	BOLLARD
[Symbol]	PAVEMENT MARKINGS
[Symbol]	CROSSWALK STRIPING
[Symbol]	STORM INLET
[Symbol]	OVERHEAD UTILITY
[Symbol]	UTILITY POLE
[Symbol]	HYDRANT
[Symbol]	MAN DOOR
[Symbol]	DOCK DOOR
[Symbol]	GUIDE RAIL
[Symbol]	RETAINING WALL
[Symbol]	CURB RAMP (1:2 MAX SLOPE)
[Symbol]	NUDOT ASPHALT REPAIR STRIP
[Symbol]	LIGHT POLE
[Symbol]	WALL PACK

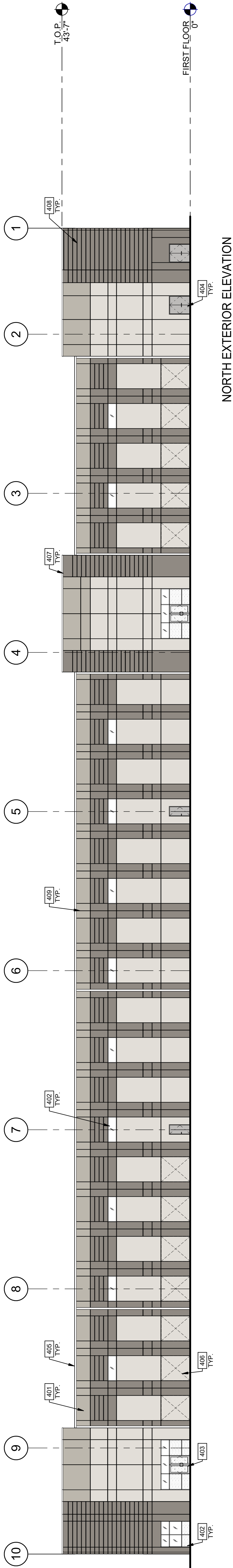


MATCHLINE
SEE SHEET C5.0

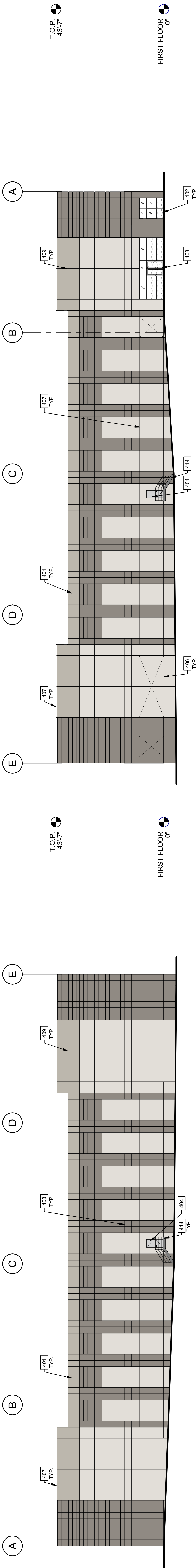


APPENDIX C
Conceptual Architectural Plans

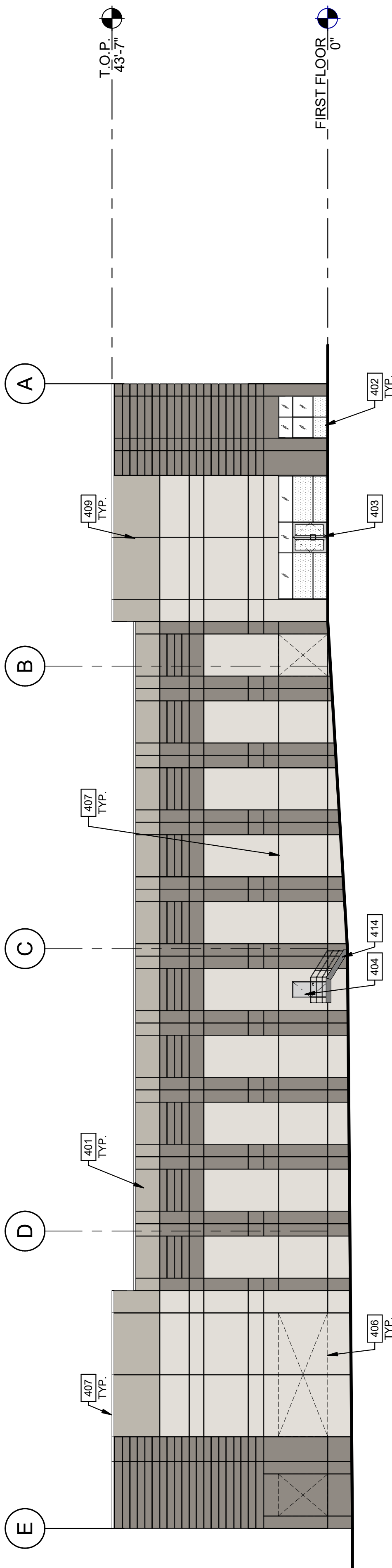
Redevelopment Plan
Block 703, Lot 6.01, formerly part of, and also known as Lot 6
Town of Dover, Morris County, New Jersey



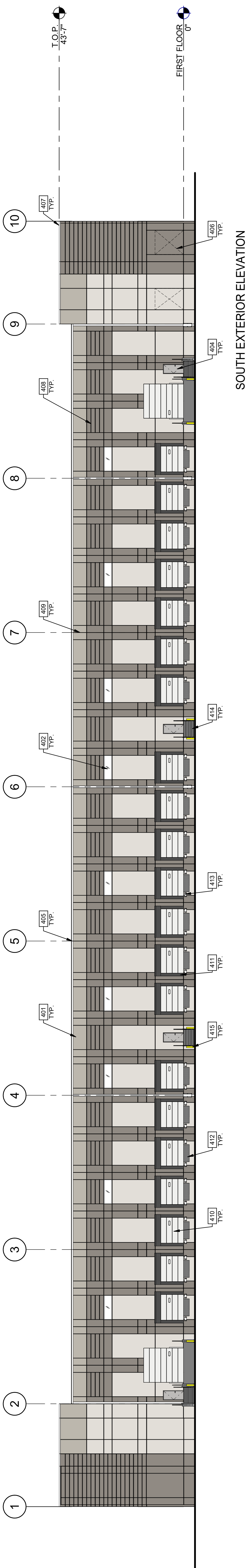
NORTH EXTERIOR ELEVATION



WEST EXTERIOR ELEVATION



EAST EXTERIOR ELEVATION



SOUTH EXTERIOR ELEVATION

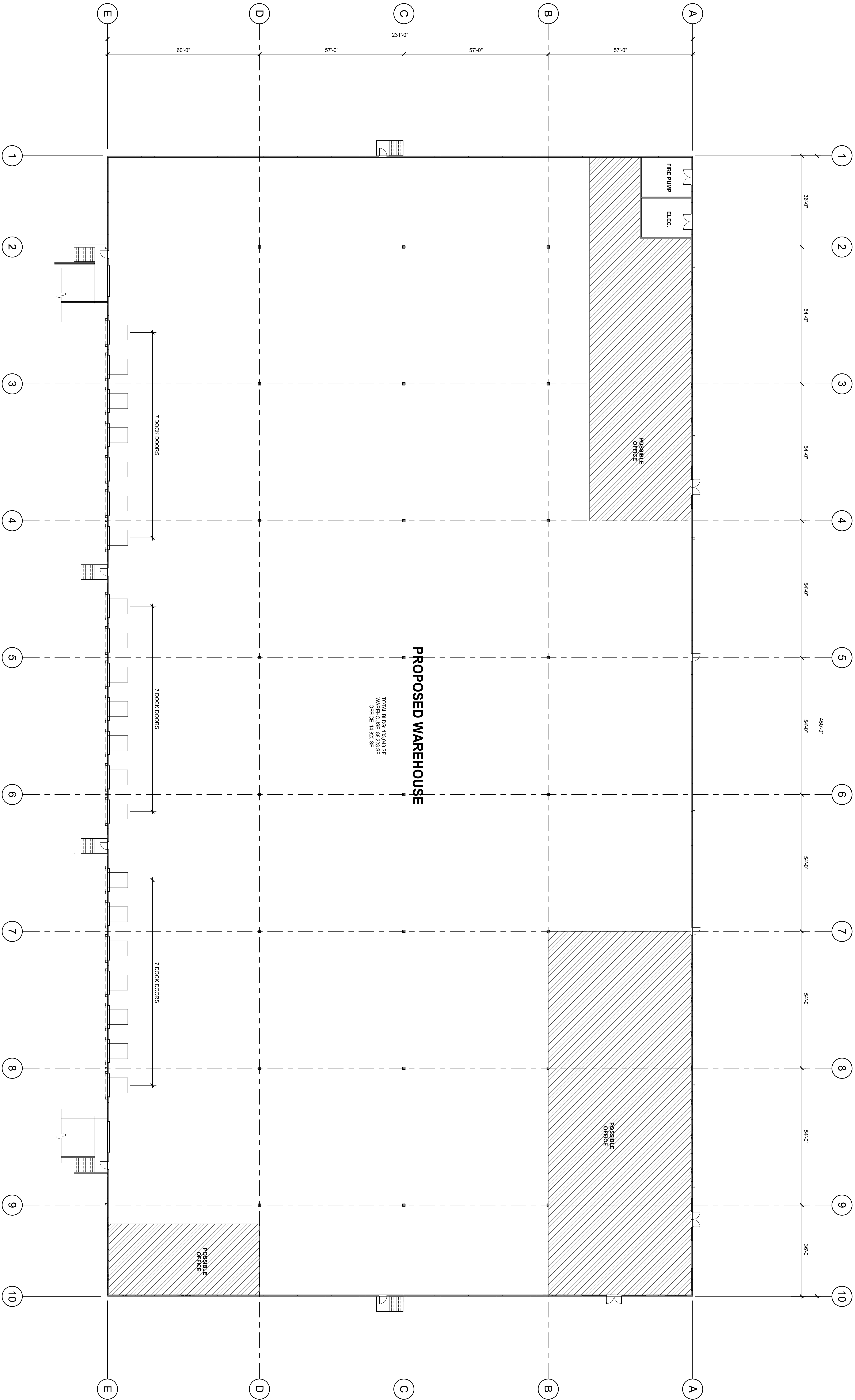
KEYNOTES: -

- 401 INSULATED PRECAST CONCRETE WALL PANEL - PAINTED.
- 402 INSULATED PRECAST CONCRETE OVERHEAD SECTIONAL DOOR.
- 403 INSULATED LOW-E ALUMINUM STOREFRONT DOOR.
- 404 INSULATED HOLLOW METAL DOOR, PAINTED.
- 405 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT.
- 406 KNOCKOUT FOR FUTURE OPENING.
- 407 PREFINISHED ALUMINUM METAL COPING.
- 408 HORIZONTAL REVEAL.
- 409 PRECAST CONCRETE PANEL JOINT.
- 410 PREFINISHED INSULATED OVERHEAD SECTIONAL DOOR.
- 411 DOCK SHELTER.
- 412 METAL STAIR WITH RAILING.
- 413 BUMPERS.
- 414 METAL STAIR WITH RAILING.
- 415 BOLLARD, PAINTED.

LEGEND

COLORS:

- BASE COLOR: MINDFUL GRAY SW7016
- SECONDARY COLOR: DOVETAIL SW7018
- SECONDARY COLOR: EIDER WHITE SW7014



SCHEME 01

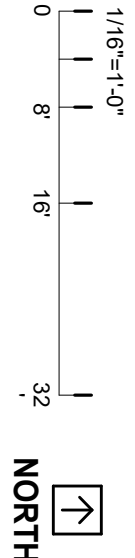
SILVERMAN -

OVERALL FLOOR PLAN

DTA PHASE 2, DOVER
200 W. CLINTON STREET DOVER
NEW JERSEY 07801 NJV22-4041-02

WARE, MALCOMB

202600220 SP1



APPENDIX D
PROPOSED BUILDING RENDERING

Redevelopment Plan
Block 703, Lot 6.01, formerly part of, and also known as Lot 6
Town of Dover, Morris County, New Jersey

