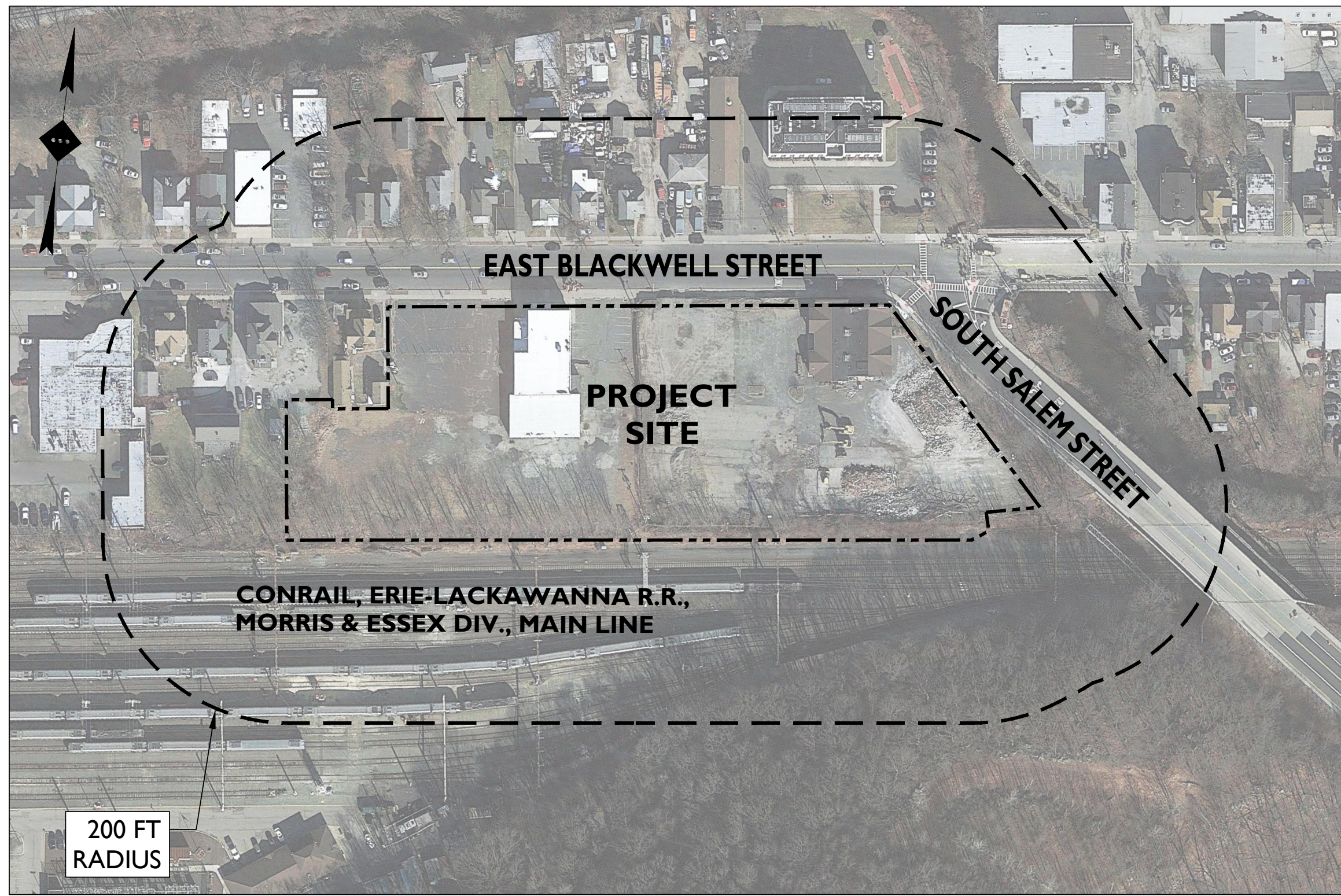


SOURCE: USGS 7.5 MINUTE DOVER AND MENDHAM QUADRANGLE NEW JERSEY, DATED 2019

LOCATION / KEY MAP

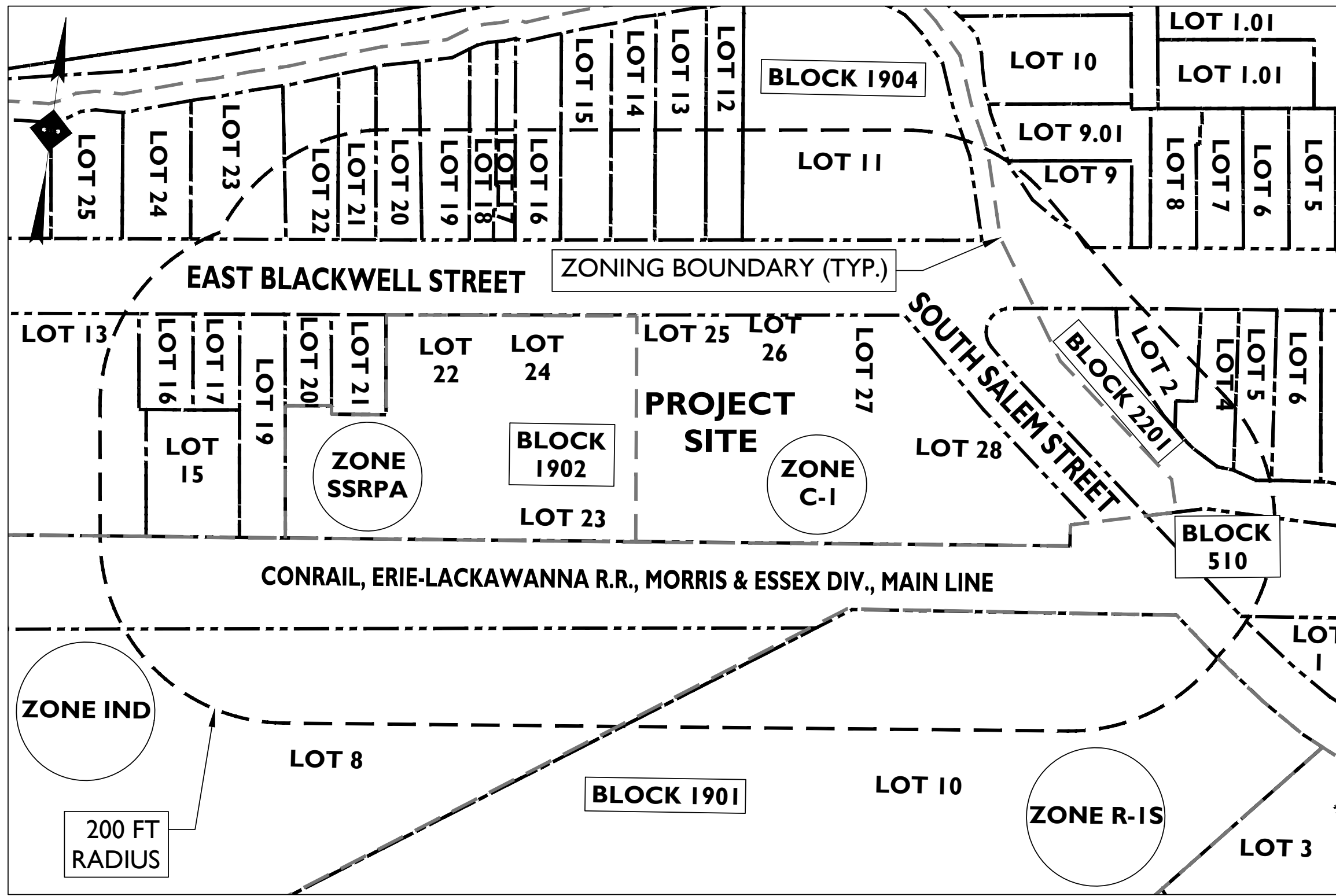
SCALE: 1" = 2000'±



SOURCE: GOOGLE EARTH PRO, DATED 2020

AERIAL MAP

SCALE: 1" = 120'±



SOURCE: MORRIS COUNTY GIS, TOWN OF DOVER TAX MAP SHEETS 19 & 22, DATED SEPTEMBER 2008

TAX / ZONING / OTHER MAP

SCALE: 1" = 120'±

PRELIMINARY & FINAL MAJOR SITE PLAN FOR DEUGEN DEVELOPMENT, LLC PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 1902, LOTS 22-28
218 E BLACKWELL STREET
TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY

APPLICANT

228 BLACKWELL STREET, LLC
720 MONROE STREET, SUITE E416A
HOBOKEN, NJ 07030
(201) 210-8622
ejg@deugen.com

OWNERS

LEIFKEN-DOVER REALTY COMPANY LLC
720 ROUTE 206
ANDOVER, NJ 07821

ATTORNEY

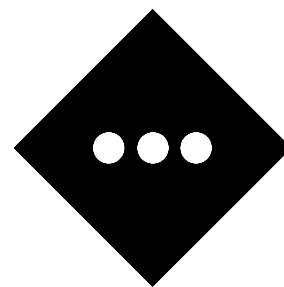
PRIME & TUVEL
14000 HORIZON WAY, SUITE 325
MOUNT LAUREL, NJ 08054
(856) 273-8300
jason@primelaw.com

| APPROVAL BLOCK | |
|--|------|
| APPROVED BY THE TOWN OF DOVER PLANNING BOARD | |
| CHAIRMAN | DATE |
| SECRETARY | DATE |
| BOROUGH ENGINEER | DATE |

| TOWN OF DOVER 200' PROPERTY OWNERS LIST | | | |
|---|-------|-----------------------------------|--|
| BLOCK | LOT | OWNER | OWNER'S ADDRESS |
| 510 | 7 | NJ TRANSIT CORP | 1 PENN PLAZA EAST NEWARK, NJ 07101 |
| 510 | 8 | NJ TRANSIT CORP | 1 PENN PLAZA EAST NEWARK, NJ 07105-2246 |
| 1901 | 10 | TOWN OF DOWER | 37 N SUSSEX ST DOVER, NJ 07801 |
| 1902 | 13 | BISSON MOTOR % 160 REALTY CORP | PO BOX 678 ROCKAWAY, NJ 07866 |
| 1902 | 15 | ZARKADAS ANTHANASIA | 42 CONGER ST DOVER, NJ 07801 |
| 1902 | 16 | HU YUSHANG | 46A SAMMIS AVE DOVER, NJ 07801 |
| 1902 | 17 | ESCAPE SALON & SPA LLC | 1 COLLINS AVE LAKE HOPATCONG, NJ 07849 |
| 1902 | 17.01 | ESCAPE SALON AND SPA LLC | 1 COLLINS AVE LAKE HOPATCONG, NJ 07849 |
| 1902 | 19 | QUIROGAS INVESTMENT LLC | 18 JORDAN TERR DOVER, NJ 07801 |
| 1902 | 20 | QUIROGAS INVESTMENT LLC | 18 JORDAN TERR DOVER, NJ 07801 |
| 1902 | 21 | WNJ REALTY LLC | 19 QUAIL RUN RANDOLPH, NJ 07869 |
| 1902 | 21 | WNJ REALTY LLC (UNIT B01) | 19 QUAIL RUN RANDOLPH, NJ 07869 |
| 1904 | 9 | RICO PROPERTIES LLC | 263 E BLACKWELL ST DOVER, NJ 07801 |
| 1904 | 9.01 | BLACKWELL PRINT SHOP LLC | 241 E BLACKWELL ST DOVER, NJ 07801 |
| 1904 | 11 | HOUSING AUTHORITY OF DOVER | 215 E BLACKWELL ST NEWARK, NJ 07801 |
| 1904 | 12 | JAKOBER LAMBERT A | 158 SPRINGBROOK TRAIL SPARTA, NJ 07871 |
| 1904 | 13 | VITLO INC | 211 E BLACKWELL ST DOVER, NJ 07801 |
| 1904 | 14 | CIPOLLINI PETER J & ANNE | 201 MENDHAM RD MORRISTOWN, NJ 07960 |

| BLOCK | LOT | OWNER | OWNER'S ADDRESS |
|-------|-------|--|--|
| 1904 | 15 | CIPOLLINI PETER J & ANNE | 201 MENDHAM RD MORRISTOWN, NJ 07960 |
| 1904 | 16 | MC GEE GEORGE/SENGA | 99 HILLSIDE TERR PARSIPPANY, NJ 07054 |
| 1904 | 17 | LEPRE SALVATORE & ANNA | 65 RICHARDS AVE DOVER, NJ 07801 |
| 1904 | 18 | GALLOZZA CECILIA | 197 E BLACKWELL ST DOVER, NJ 07801 |
| 1904 | 19 | BOLIVAR, HECTOR D/CORNEJO, MANUEL H | 151 MT HOPE AVE DOVER, NJ 07801 |
| 1904 | 20 | SEALS RONALD & SOPHIA % CHARLES SEALS | 187 E BLACKWELL ST DOVER, NJ 07801 |
| 1904 | 21 | GUERRA JOSE A & MARIAL L | 34 VAN NOSTRAND AVE DOVER, NJ 07801 |
| 1904 | 22.01 | BIG PROPERTY LLC | 171 E BLACKWELL DOVER, NJ 07801 |
| 1904 | 24 | 165 E BLACKWELL LLC | 80 PEQUANNOCK ST RANDOLPH, NJ 07869 |
| 1904 | 30 | UNKNOWN | UNKNOWN |
| 2201 | 1 | UNKNOWN | UNKNOWN |
| 2201 | 2 | VULCAN INVESTMENTS LLC | 5 FRANKLIN PL MORRISTOWN, NJ 07960 |
| 2201 | 4 | VASQUEZ REINALDO | 246 E BLACKWELL ST DOVER, NJ 07801 |
| 2201 | 5 | HAMM DAWN | 44 ROSE WAY RANDOLPH NJ 07869-1533 |
| 2201 | 6 | SHANTIVAN MANAGEMENT LLC | 263 E BLACKWELL ST DOVER, NJ 07801 |
| 2201 | 8 | UNKNOWN | UNKNOWN |
| 2203 | 1 | DOT OF NJ | 1035 PARKWAY AVE - POB 616 TRENTON, NJ 08625-0616 |

PLANS PREPARED BY:



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15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ATLA / NSPS LAND TITLE SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN LLC, DATED JUNE 24, 2021
 - ARCHITECTURAL PLANS PREPARED BY ARCHITECTURA, DATED JULY 21, 2021
 - GEOTECHNICAL REPORT PREPARED BY WHITESTONE ASSOCIATES, INC, DATED MAY 7, 2021
 - AERIAL MAP FROM GOOGLE EARTH PRO, DATED 2020
 - LOCATION MAP FROM USGS 7.5 MINUTE DOVER QUADRANGLE NEW JERSEY, DATED 2019
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

| DRAWING TITLE | SHEET # |
|--------------------------------------|-----------|
| COVER SHEET | C-1 |
| EXISTING CONDITIONS PLAN | C-2 |
| DEMOLITION PLAN | C-3 |
| SITE PLAN | C-4 |
| GRADING PLAN | C-5 |
| UTILITY PLAN | C-6 |
| SOIL EROSION & SEDIMENT CONTROL PLAN | C-7 - 8 |
| LANDSCAPING PLAN AND DETAILS | C-9 - 10 |
| LIGHTING PLAN | C-11 |
| CONSTRUCTION DETAILS | C-12 - 15 |
| DRIVEWAY PROFILES | C-16 |
| DRIVEWAY CROSS SECTIONS | C-17 |

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PRELIMINARY & FINAL MAJOR SITE PLAN
DEUGEN DEVELOPMENT, LLC
**PROPOSED RESIDENTIAL
DEVELOPMENT**

BLOCK 1902, LOTS 22-28
218-220 E BLACKWELL STREET
TOWN OF DOVER
MORRIS COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: T-16195.02

TITLE:

COVER SHEET

DRAWING:

C-1

I. THE SURVEY SETTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

1. DEED BETWEEN NORMAN I. SWARTZ AND MARGARET E. SWARTZ, HIS WIFE, AND HERBERT C. SWARTZ AND ELEANOR A. SWARTZ, HIS WIFE (GRANTOR) AND SWARTZ BROTHERS INC. (GRANTEE), DATED AUGUST 24, 1956 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK Z61 PAGE 314.
2. DEED BETWEEN HARRY W. HOUCK AND MAUD HOUCK, HIS WIFE (GRANTOR) AND SWARTZ BROTHERS INC. (GRANTEE), DATED SEPTEMBER 15, 1965 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK 1958 PAGE 978.
3. DEED BETWEEN BARJIM REALTY II, LLC (GRANTOR) AND LEIFKEN-DOVER REALTY CO., LLC (GRANTEE), DATED DECEMBER 1, 1998 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK 4895 PAGE 125.
4. DEED BETWEEN KELLY LEIFKEN (GRANTOR) AND LEIFKEN-DOVER REALTY COMPANY, LLC (GRANTEE), DATED MAY 7, 2004 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK 6067 PAGE 125.
5. TAX MAP OF THE TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY - SHEET 19, DATED 3/17/15.
6. TITLE COMMITMENT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY ISSUING OFFICE FILING NUMBER 21-0000503NCs COMMITMENT DATE APRIL 8, 2021.
7. TITLE COMMITMENT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY ISSUING OFFICE FILING NUMBER 21-0000504NCs COMMITMENT DATE APRIL 8, 2021.

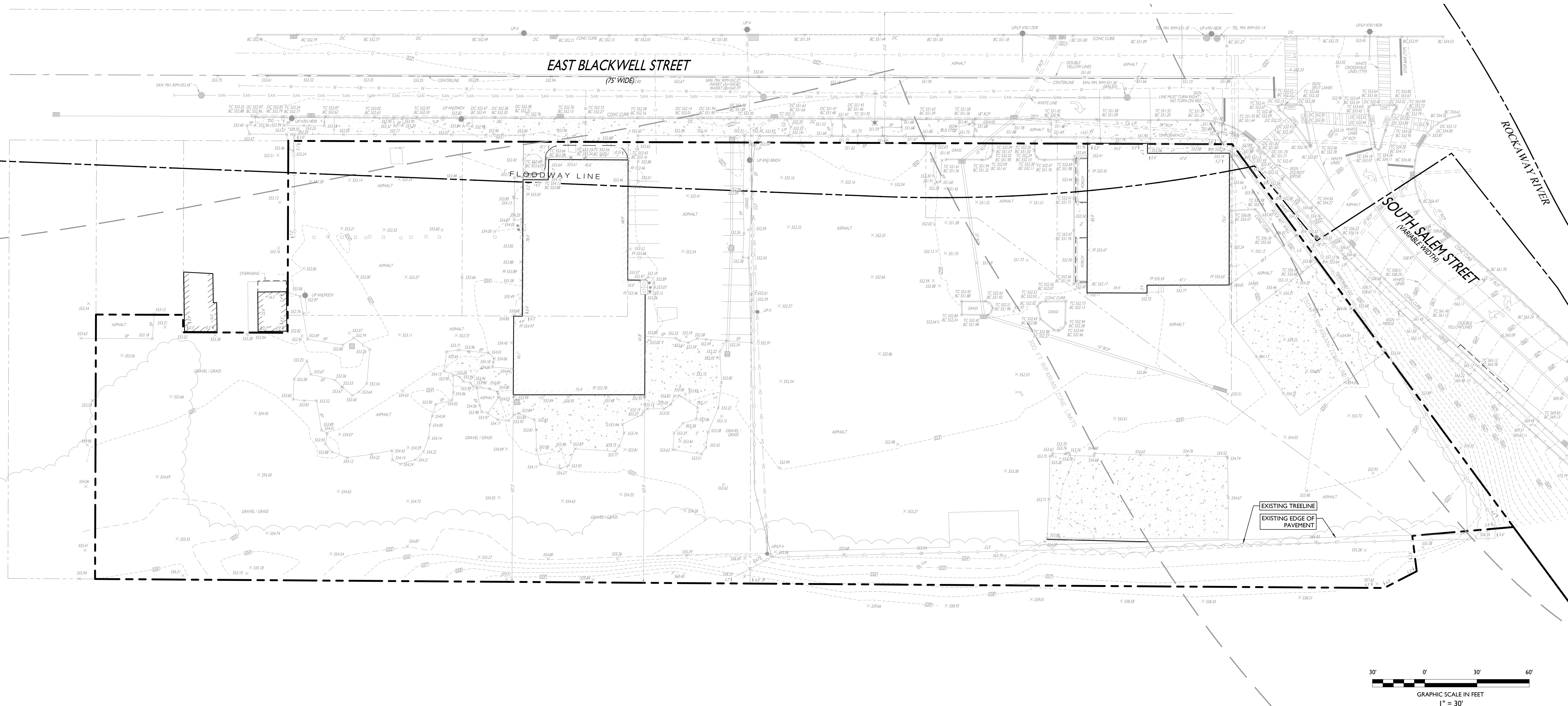
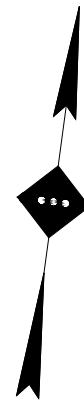
1. THE ADDRESS FOR THIS PROPERTY IS 218 E. BLACKWELL STREET, DOVER, NEW JERSEY.
2. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING JUNE 16, 2021 BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE.
3. THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR EMBOSSED SEAL IS AFFIXED HERETO.
4. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
5. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APURTANCES AND ACCESS MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OF CONSTRUCTION, ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
6. BEARINGS ARE REFERENCED TO THE NJ STATE PLANE COORDINATE SYSTEM, NAD 83 (2011) ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
7. THE PROPERTY CURRENTLY HAS ACCESS TO EAST BLACKWELL STREET.
8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2023, C.14 (A548-36) AND N.J.A.C. 13:40-5.1(D).
9. BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.
10. BENCHMARK = MAG NAL = 554.27 (NADV08).
BENCHMARK = MAG NAL = 551.50 (NADV08).
BENCHMARK = MAG NAL = 554.54 (NADV08).
BENCHMARK = MAG NAL = 553.55 (NADV08).
BENCHMARK = MAG NAL = 554.27 (NADV08).

A vertical list of 25 musical notation symbols and signs, including staves, clefs, and various note and rest symbols.

- BUILDING
- CONCRETE SIDEWALK / MAT
- ASPHALT / CONCRETE CURB
- DEPRESSED CURB
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CHAIN LINK FENCE
- BOARD-ON-BOARD FENCE
- GUIDE RAIL
- MAST ARM LIGHT POLE
- POLE
- LIGHT POLE
- SIGNS
- WATER VALVE
- GAS VALVE
- FIRE HYDRANT
- DRAIN
- INLET
- MAN HOLE
- BOLLARDS
- MONITORING WELL
- EDGE OF PAVEMENT
- OVERHEAD WIRE
- UNDERGROUND GAS LINE

----- 100 -----
 ----- 101 -----
 × 100.00
 × TC 100.50
 × BC 100.00
 × TW 102.00
 × BW 100.00
 L/S
 [E]
 [G]
 [●]
 [◐]
 [D.W.S.]

UNDERGROUND WATER LINE
MAJOR CONTOUR
MINOR CONTOUR
GRADE SPOT SHOT
TOP OF CURB SHOT
BOTTOM OF CURB SHOT
TOP OF WALL SHOT
BOTTOM OF WALL SHOT
LANDSCAPING
ELEC METER
GAS METER
IRON PIN
BENCH MARK
DETECTABLE WARNING STRIP

[illegible]

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PRELIMINARY & FINAL MAJOR SITE PLAN

DEUGEN DEVELOPMENT, LLC

**PROPOSED RESIDENTIAL
DEVELOPMENT**

**BLK 1902, LOTS 22-28
2118-220 E BLACKWELL STREET
TOWN OF DOVER
MORRIS COUNTY, NEW JERSEY**

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER



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| | | |
|--------|----------|------------------------|
| SCALE: | 1" = 30' | PROJECT ID: T-16195.02 |
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EXISTING CONDITIONS PLAN

DRAWING:

C-2

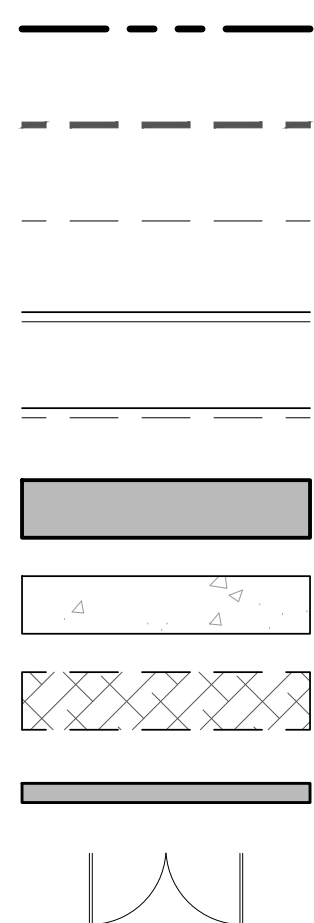
| LAND USE AND ZONING | | | |
|---|-------------------------|----------------------|----------------------|
| BLOCK 1902, LOT 22-28 | | | |
| SCATTERED SITE REDEVELOPMENT PLAN AREA PARCEL (SSRPA) | | | |
| PROPOSED USE | | | |
| MULTI-FAMILY RESIDENTIAL | PERMITTED PRINCIPAL USE | | |
| PARKING | PERMITTED ACCESSORY USE | | |
| APARTMENT COMMON AREAS | PERMITTED ACCESSORY USE | | |
| ZONING REQUIREMENT | REQUIRED | EXISTING | PROPOSED |
| MINIMUM LOT AREA | N/A | 174,669 SF (4.01 AC) | 174,669 SF (4.01 AC) |
| MINIMUM LOT WIDTH | N/A | N/A | N/A |
| MINIMUM LOT DEPTH | N/A | N/A | N/A |
| MAXIMUM IMPERVIOUS COVERAGE | 85% | 71.45% | 83.77% |
| MAXIMUM BUILDING COVERAGE | 70% | 8.80% (15,369 SF) | 62.99% (111,032 SF) |
| MAXIMUM BUILDING HEIGHT | 5 STORIES, 65 FT | 2 STORIES | 5 STORIES, 64.0 FT |
| MAXIMUM FRONT YARD SETBACK | 35 FT | 0 FT (EN) | 31.26 FT |
| MINIMUM SIDE YARD SETBACK | 5 FT | 107.5 FT | 5.0 FT |
| MINIMUM REAR YARD SETBACK | 5.0 FT | 107.3 FT | 5.0 FT |

| CODE SECTION | REQUIRED | PROPOSED |
|--------------------------------------|---|---|
| REDEVELOPMENT PLAN - SUB-AREA 3 D. | 1 SPACE PER UNIT | 260 UNITS 332 PARKING SPACES 1.28 SPACES PER UNIT |
| REDEVELOPMENT PLAN - SUB-AREA 3 D. | SURFACE LEVEL AND INTERIOR PARKING SETBACK: 5 FT | 5 FT |
| REDEVELOPMENT PLAN - SUB-AREA 3 D. | 90 DEGREE PARKING MIN. DIMENSIONS: 8.5 FT X 18 FT | 8.5 FT X 18 FT |
| REDEVELOPMENT PLAN - SUB-AREA 3 D. | DRIVE AISLE MIN. WIDTH: 22 FT | 22.5 FT |
| STATEWIDE ELECTRIC VEHICLE ORDINANCE | PREPARE AS MAKE-READY PARKING SPACES AT LEAST 15 PERCENT OF THE REQUIRED OFF-STREET PARKING SPACES, AND INSTALL EVSE IN AT LEAST ONE-THIRD OF THE 15 PERCENT OF MAKE-READY PARKING SPACES | 50 EV MAKE-READY SPACES PROPOSED |
| | 332 PARKING SPACES * 15% = 50 EV SPACES | |

GENERAL NOTES

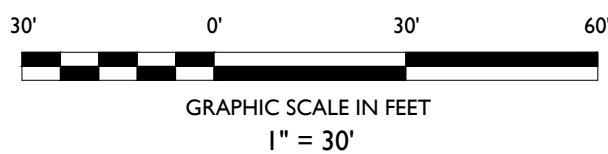
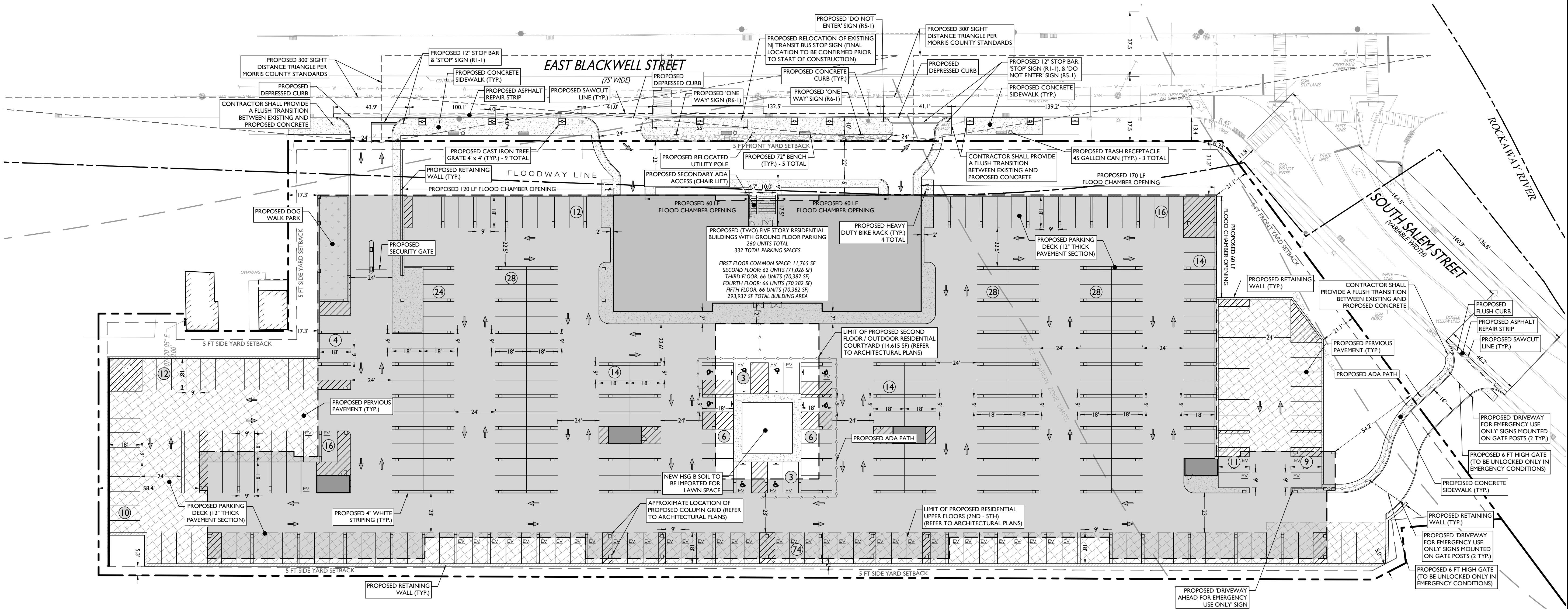
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW, STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

SYMBOL



DESCRIPTION

PROPERTY LINE
SETBACK LINE
SAWCUT LINE
PROPOSED CURB
PROPOSED DEPRESSED CURB
PROPOSED BUILDING
PROPOSED CONCRETE
PROPOSED PERVIOUS PAVEMENT
PROPOSED RETAINING WALL
PROPOSED BUILDING DOORS



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PRELIMINARY & FINAL MAJOR SITE PLAN
DEUGEN DEVELOPMENT, LLC

**PROPOSED RESIDENTIAL
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BLOCK 1902, LOTS 22-28
218-220 E BLACKWELL STREET
TOWN OF DOVER
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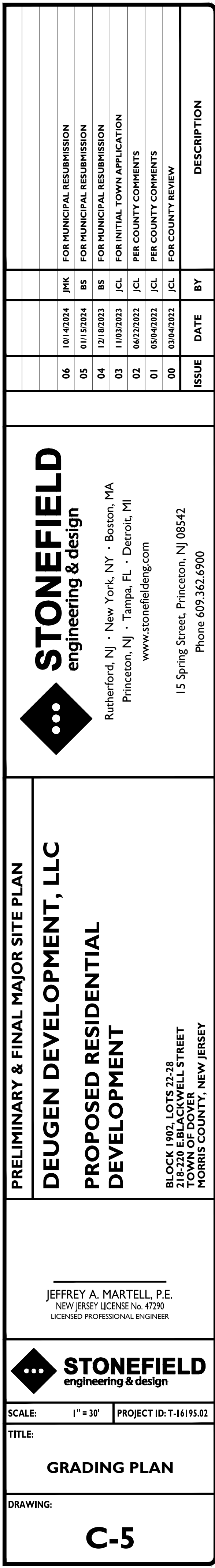
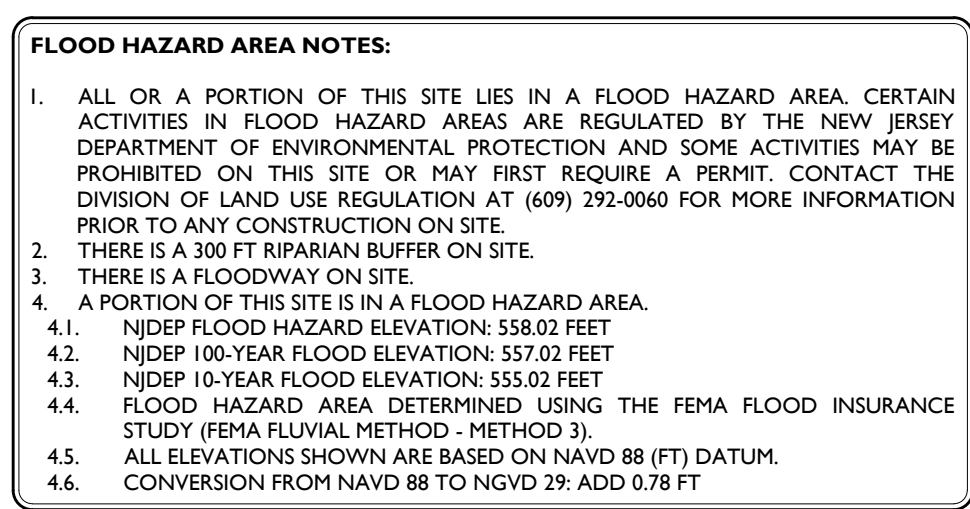
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TITLE:

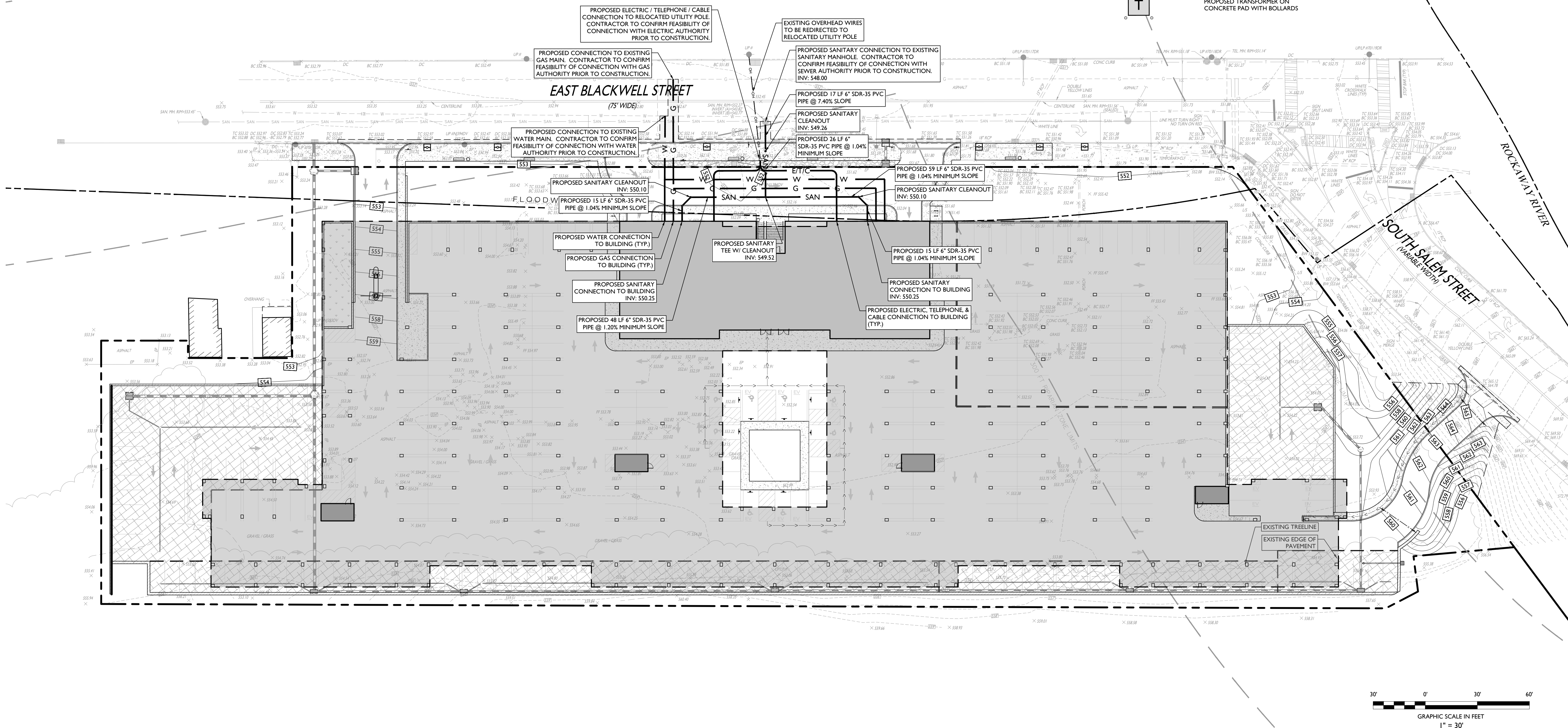
SITE PLAN

DRAWING:

C-4



T:\2016\1419502 DEUGEN DEVELOPMENT - 21 E BLACKWELL STREET - DOWR - MICROGRAPHIC UTILITIES.DWG



Drainage and Utility Notes

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

SYMBOL

- PROPERTY LINE
- SAN --- PROPOSED SANITARY LATERAL
- W --- PROPOSED DOMESTIC WATER SERVICE
- E/T/C --- PROPOSED ELECTRICAL/DATA CONDUITS
- T/C --- PROPOSED DATA CONDUITS
- E --- PROPOSED ELECTRIC CONDUITS
- OH --- PROPOSED OVERHEAD WIRES
- G --- PROPOSED GAS LINE
- ⋈ --- PROPOSED VALVE
- T --- PROPOSED WATER TEE / BEND
- ⊙ --- PROPOSED FIRE HYDRANT
- ⋈ --- PROPOSED FIRE DIRECT CONNECTION (FDC)
- ⊙ --- PROPOSED SANITARY MANHOLE / CLEANOUT
- ⊙ --- PROPOSED UTILITY POLE
- T --- PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

DESCRIPTION

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PRELIMINARY & FINAL MAJOR SITE PLAN

DEUGEN DEVELOPMENT, LLC

PROPOSED RESIDENTIAL
DEVELOPMENT

BLOCK 1902, LOTS 22-28
218-220 E BLACKWELL STREET
TOWN OF DOVER
MORRIS COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: T-16195.02

TITLE:

UTILITY PLAN

DRAWING:

C-6

MORRIS COUNTY SOIL CONSERVATION DISTRICT

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 22 BELOW.
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 23 BELOW.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 22 BELOW.
5. TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
11. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUB BASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.

18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
20. CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
21. TOPSOIL STOCKPILE PROTECTION
- A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
 - D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - F) PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
22. TEMPORARY STABILIZATION SPECIFICATIONS
- A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
 - D) MULCH DISTURBED SOIL WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
23. PERMANENT STABILIZATION SPECIFICATIONS
- A) APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
 - B) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
 - C) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - D) APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.35 LBS PER 1000 SQ. FT.
 - E) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- *NOTE: 48 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

FLOOD HAZARD AREA NOTES:

1. ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.
2. THERE IS A 300 FT RIPARIAN BUFFER ON SITE.
3. THERE IS A FLOODWAY ON SITE.
4. A PORTION OF THIS SITE IS IN A FLOOD HAZARD AREA.
- 4.1. NJDEP FLOOD HAZARD ELEVATION: 557.22 FEET
- 4.2. NJDEP 100-YEAR FLOOD ELEVATION: 556.22 FEET
- 4.3. NJDEP 10-YEAR FLOOD ELEVATION: 554.62 FEET
- 4.4. FLOOD HAZARD AREA DETERMINED USING THE FEMA FLOOD INSURANCE STUDY (FEMA FLUVIAL METHOD - METHOD 3).
- 4.5. ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88 (FT) DATUM.
- 4.6. CONVERSION FROM NAVD 88 TO NGVD 29: ADD 0.78 FT

SOIL CHARACTERISTICS CHART

| TYPE OF SOIL | URBAN LAND (UR) |
|----------------------------|-----------------|
| PERCENT OF SITE COVERAGE | 100.0% |
| HYDROLOGIC SOIL GROUP | UNRANKED |
| DEPTH TO RESTRICTIVE LAYER | N/A |
| SOIL PERMEABILITY | N/A |
| DEPTH TO WATER TABLE | N/A |

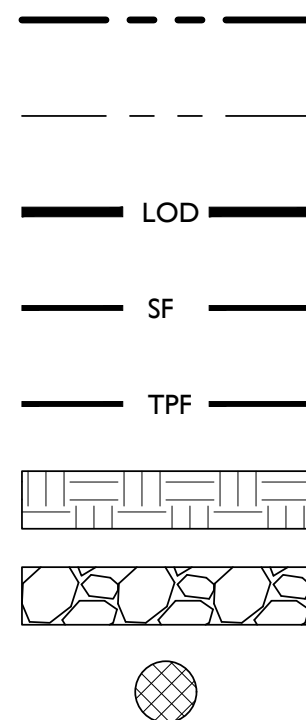
SEQUENCE OF CONSTRUCTION

1. INSTALL CONSTRUCTION ENTRANCE (3 DAYS)
2. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL NEXT PHASE OF CONSTRUCTION BEGINS. (1 WEEK)
3. ROUGH GRADING AND EXCAVATION. (4 WEEKS)
4. INSTALL INLET FILTERS. (1 DAY)
5. COMMENCE BUILDING CONSTRUCTION AND SITE IMPROVEMENTS. (6 MONTHS)
6. STREETScape IMPROVEMENTS. (1 WEEK)
7. REMOVE SOIL EROSION MEASURES. (1 WEEK)

NOTE:

PROPERTY IS LOCATED WITHIN AN URBAN REDEVELOPMENT AREA (METROPOLITAN PLANNING AREA (PAU)) AND IS THEREFORE EXEMPT FROM COMPACTION REMEDIATION.

SYMBOL

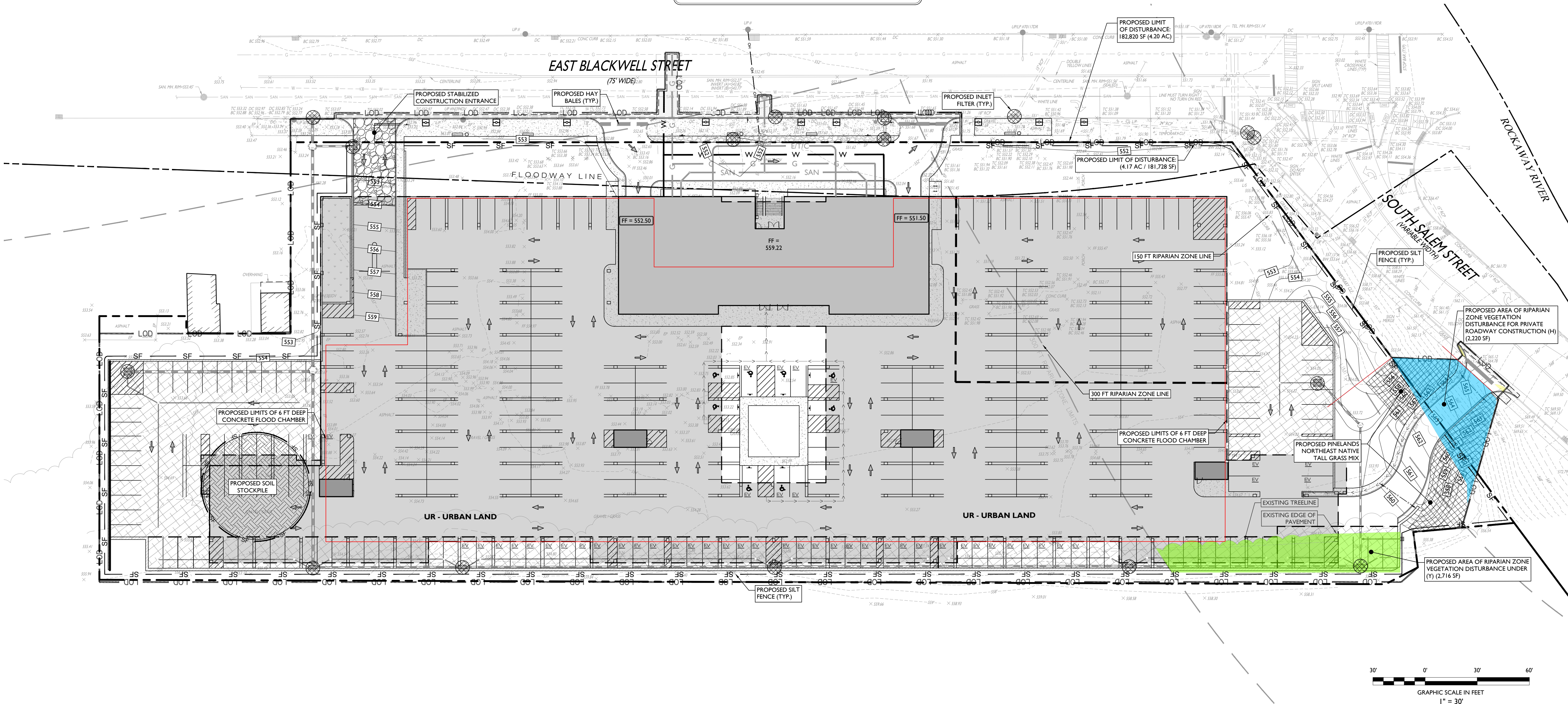


DESCRIPTION

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- LOD
- PROPOSED LIMIT OF DISTURBANCE
- SF
- PROPOSED SILT FENCE
- TPF
- PROPOSED TREE PROTECTION FENCE
- PROPOSED STOCKPILE & EQUIPMENT STORAGE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED INLET PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



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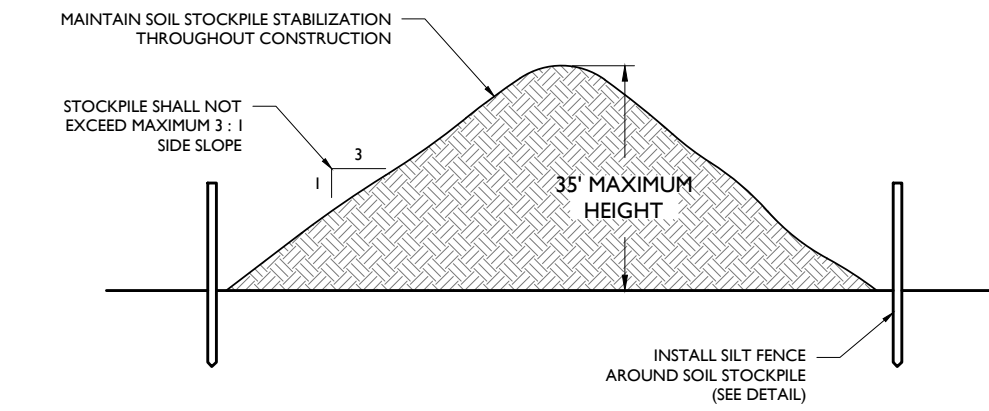
SCALE: 1" = 30' PROJECT ID: T-16195.02

TITLE:

SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:

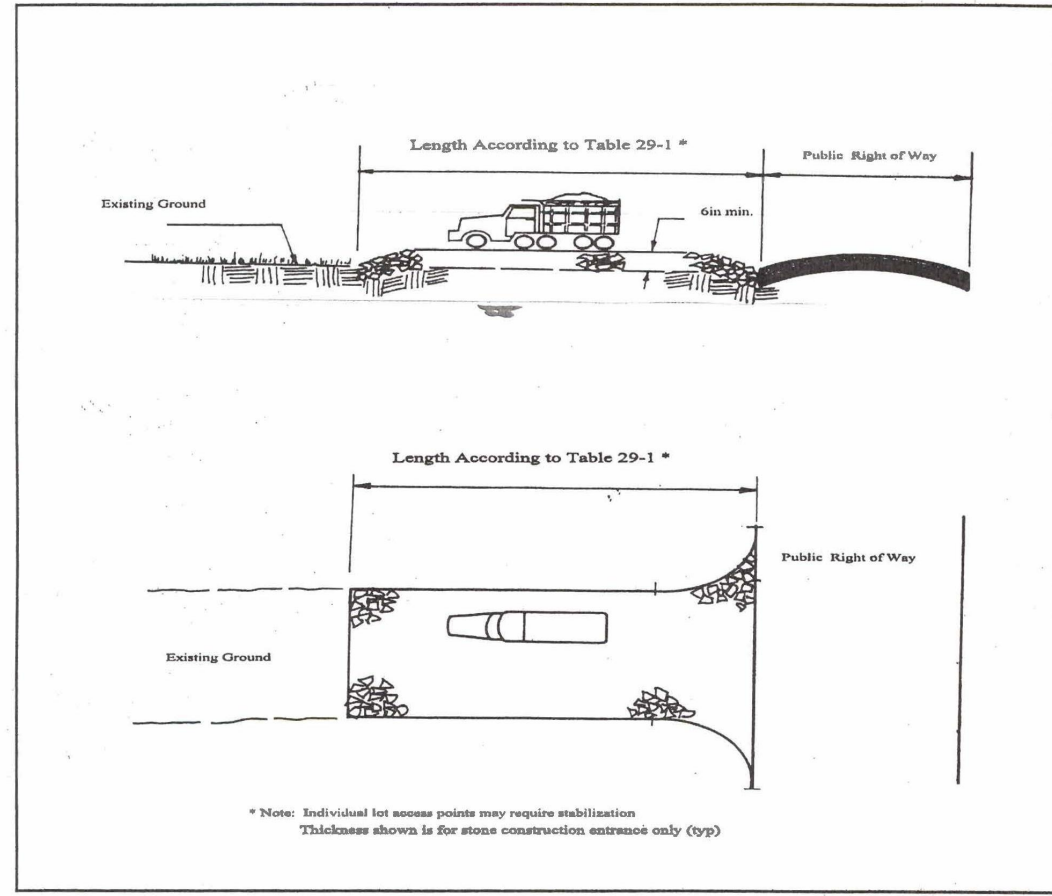
C-7



- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL
NOT TO SCALE

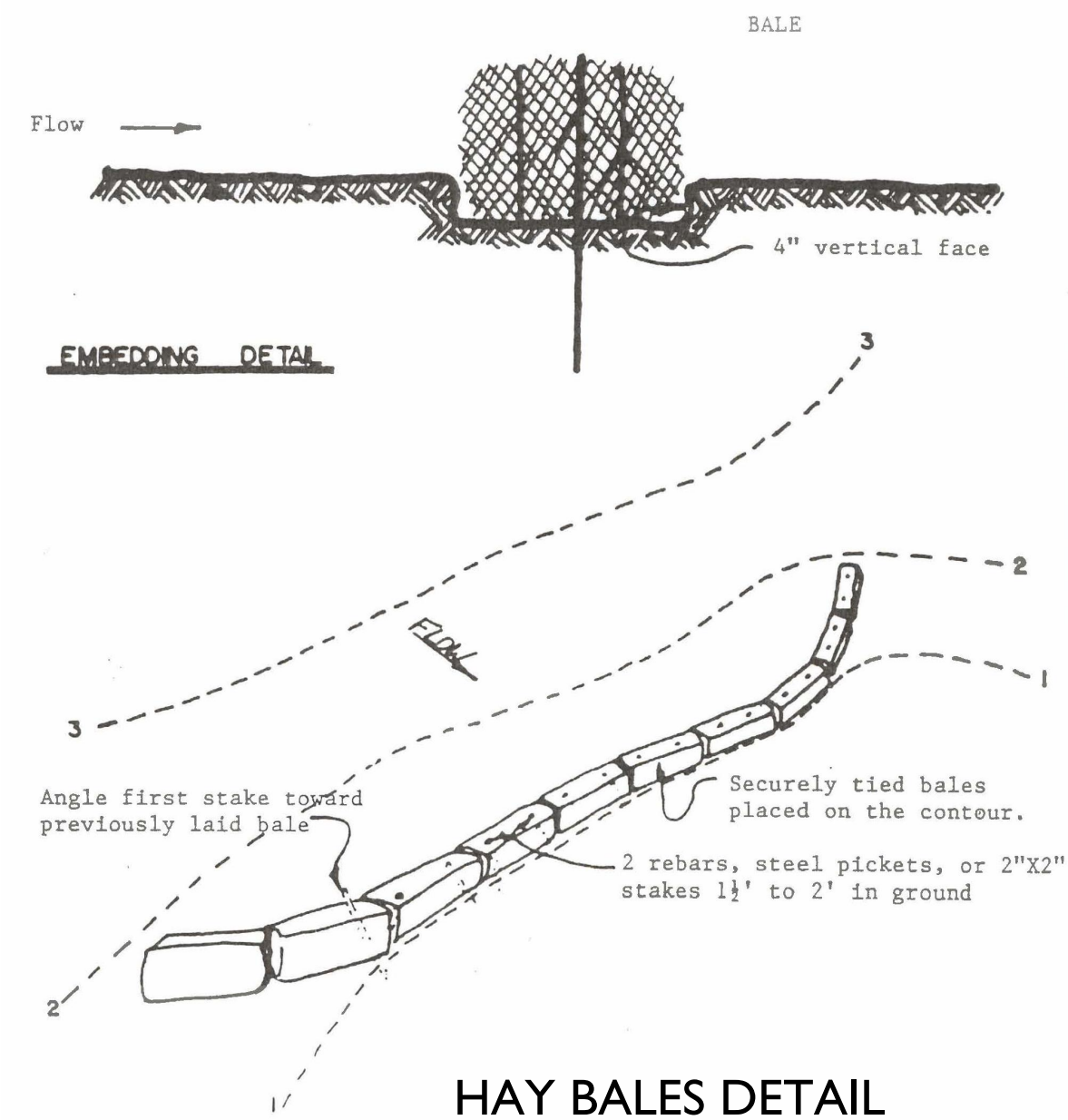
Figure 29-1: Stabilized Construction Access



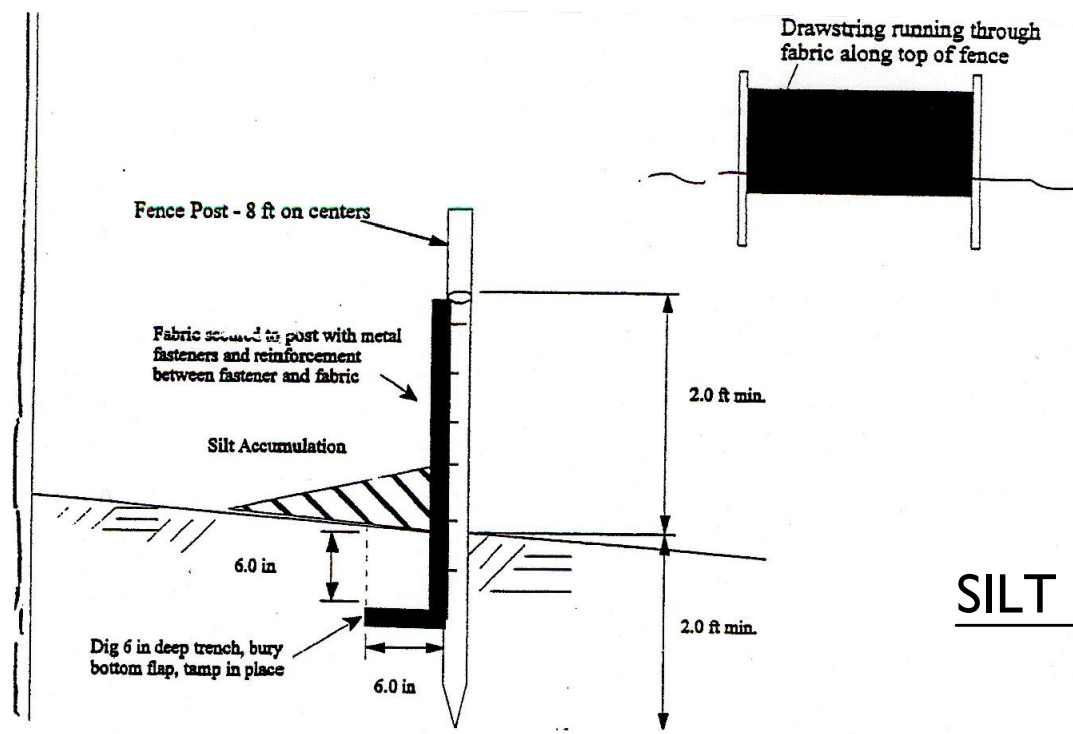
| Percent Slope of Roadway | Length of Stone Required | |
|--------------------------|--|--------------------|
| | Coarse Grained Soils | Fine Grained Soils |
| 0 to 2% | 50 ft | 100 ft |
| 2 to 3% | 100 ft | 200 ft |
| >3% | Entire surface stabilized with FABC base course ¹ | |

1. As prescribed by local ordinance or other governing authority.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



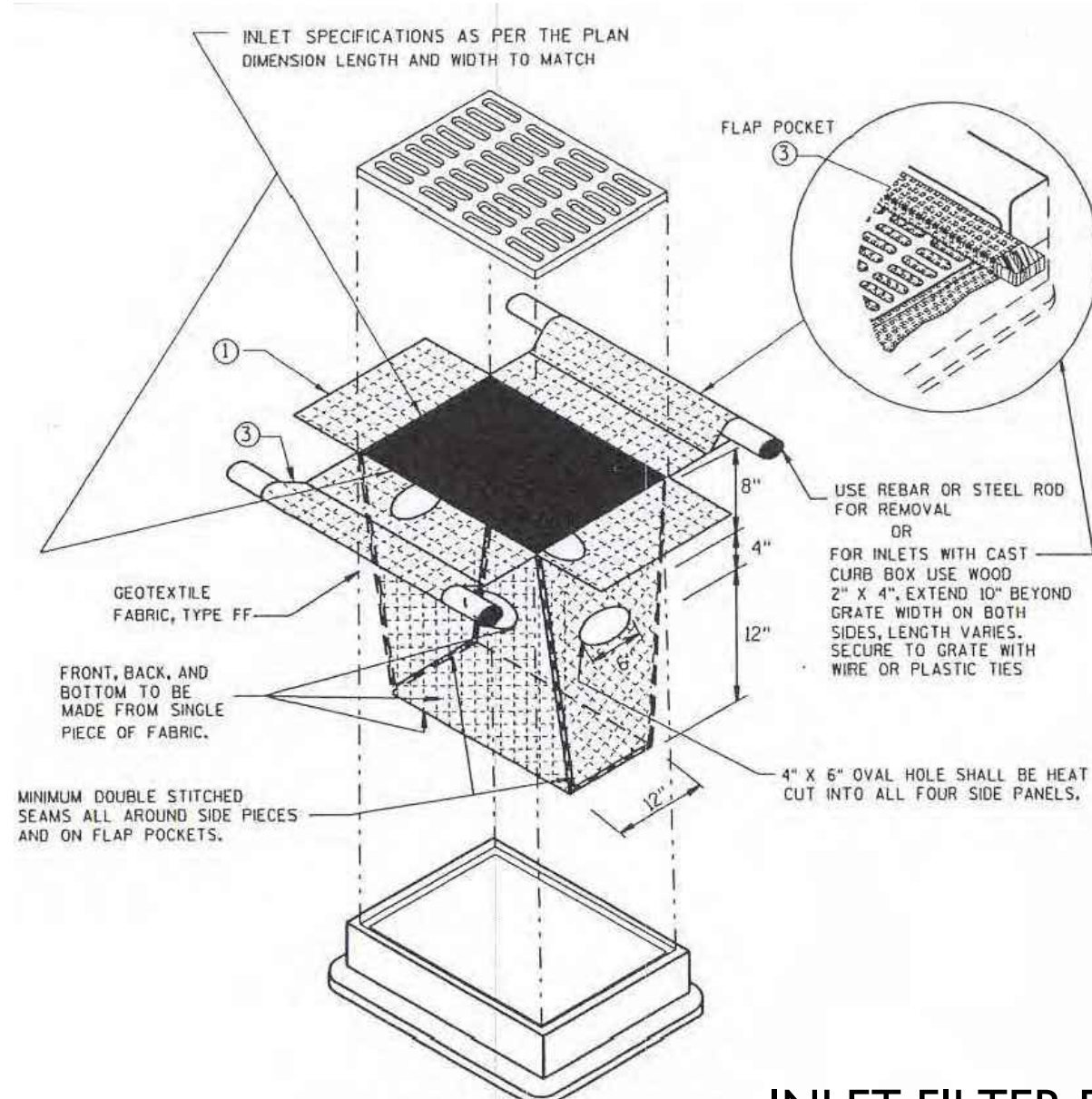
HAY BALES DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

Requirements for Silt Fence:

1. Fence posts shall be spaced 8 feet center-to-center or closer. They shall extend at least 2 feet into the ground and extend at least 2 feet above ground (Fig. 25-2). Posts shall be constructed of hardwood with a minimum diameter thickness of 1 1/2 inches.
2. A metal fence with 6 inch or smaller openings and at least 2 feet high may be utilized, fastened to the fence posts, to provide reinforcement and support to the geotextile fabric where space for other practices is limited and heavy sediment loading is expected.
3. A geotextile fabric, recommended for such use by the manufacturer, shall be buried at least 6 inches deep in the ground. The fabric shall extend at least 2 feet above the ground. The fabric must be securely fastened to the posts using a system consisting of metal fasteners (nails or staples) and a high strength reinforcement material (nylon webbing, grommets, washers etc.) placed between the fastener and the geotextile fabric. The fastening system shall resist tearing away from the post. The fabric shall incorporate a drawstring in the top portion of the fence for added strength.



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE (2))

INLET FILTER DETAIL
NOT TO SCALE



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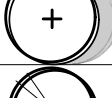
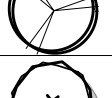


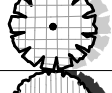




SCALE: AS SHOWN PROJECT ID: T-16195.02

TITLE:
SOIL EROSION & SEDIMENT CONTROL DETAILS

DRAWING:

C-8


| PLANT SCHEDULE | | | | | | |
|---|------|-----|---|----------------------------------|---------------|-----------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
| DECIDUOUS TREES | | | | | | |
|  | ACE | 6 | ACER SACCHARUM | SUGAR MAPLE | 2" - 2.5" CAL | B&B |
|  | GIN | 3 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY MAIDENHAIR TREE | 2" - 2.5" CAL | B&B |
|  | LIQ | 2 | LIQUIDAMBAR STYRACIFLUA | SWEET GUM | 2" - 2.5" CAL | B&B |
|  | QBI | 3 | QUERCUS BICOLOR | SWAMP WHITE OAK | 2" - 2.5" CAL | B&B |
|  | QPH | 5 | QUERCUS PHELLOS | WILLOW OAK | 2" - 2.5" CAL | B&B |
|  | TIL | 4 | TILIA CORDATA | LITTLELEAF LINDEN | 2" - 2.5" CAL | B&B |
| EVERGREEN TREES | | | | | | |
|  | ILE | 12 | ILEX X 'NELLIE R. STEVENS' | NELLIE R. STEVENS HOLLY | 5' - 6' HT | B&B |
|  | JUN | 9 | JUNIPERUS VIRGINIANA | EASTERN REDCEDAR | 6' - 7' HT | B&B |
|  | JSG | 226 | JUNIPERUS VIRGINIANA 'N. SELECT GREEN'™ | EMERALD FEATHER EASTERN REDCEDAR | 5' - 6' HT | B&B |
|  | THU | 12 | THUJA X 'GREEN GIANT' | GREEN GIANT ARBORVITAE | 6' - 7' HT | B&B |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.




| PLANT SCHEDULE CONTINUED | | | | | | |
|--------------------------|------|-----|--|---------------------|-----------|---------------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
| SHRUBS | | | | | | |
| | CLE | 5 | CLETHRA ALNIFOLIA 'RUBY SPICE' | RUBY SPICE CLETHRA | 24" - 30" | POT |
| | HME | 2 | HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER' | BALMER HYDRANGEA | 24" - 30" | POT |
| | HPL | 12 | HYDRANGEA PANICULATA 'LIMELIGHT' | LIMELIGHT HYDRANGEA | 24" - 30" | POT |
| | HQU | 15 | HYDRANGEA QUERCIFOLIA | OAKLEAF HYDRANGEA | 24" - 30" | POT |
| | PHY | 23 | PHYSOCARPUS OPULIFOLIUS | NINEBARK | 24" - 30" | POT |
| | VIB | 6 | VIBURNUM DENTATUM | VIBURNUM | 18" - 24" | POT |
| EVERGREEN SHRUBS | | | | | | |
| | ICO | 101 | ILEX GLABRA 'COMPACTA' | COMPACT INKBERRY | 18" - 24" | POT |
| GRASSES | | | | | | |
| | CAL | 26 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' | FEATHER REED GRASS | 3 GAL. | POT |
| GRASSES | | | | | | |
| | CAR | 78 | CAREX PENSYLVANICA | PENNSYLVANIA SEDGE | 1 GAL. | POT, 18" O.C. |
| | ERA | 162 | ERAGROSTIS SPECTABILIS | PURPLE LOVEGRASS | 1 GAL. | POT, 36" O.C. |
| PERENNIALS | | | | | | |
| | RUD | 434 | RUDBECKIA LACINIATA | CUTLEAF CONEFLOWER | 1 GAL. | POT, 18" O.C. |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

PINELANDS NURSERY AND SUPPLY
NORTHEAST NATIVE TALL GRASS (#ZXMIXNATIVEVEG):

| | | | |
|---|---------------------|-------------------|-----|
|  | ANDROPOGON GERARDII | BIG BLUESTEM | 22% |
| | ELYMUS VIRGINICUS | VIRGINIA WILD RYE | 23% |
| | PANICUM VIRGATUM | SWITCHGRASS | 26% |
| | TRIDENS FLAVUS | PURPLETOP | 29% |

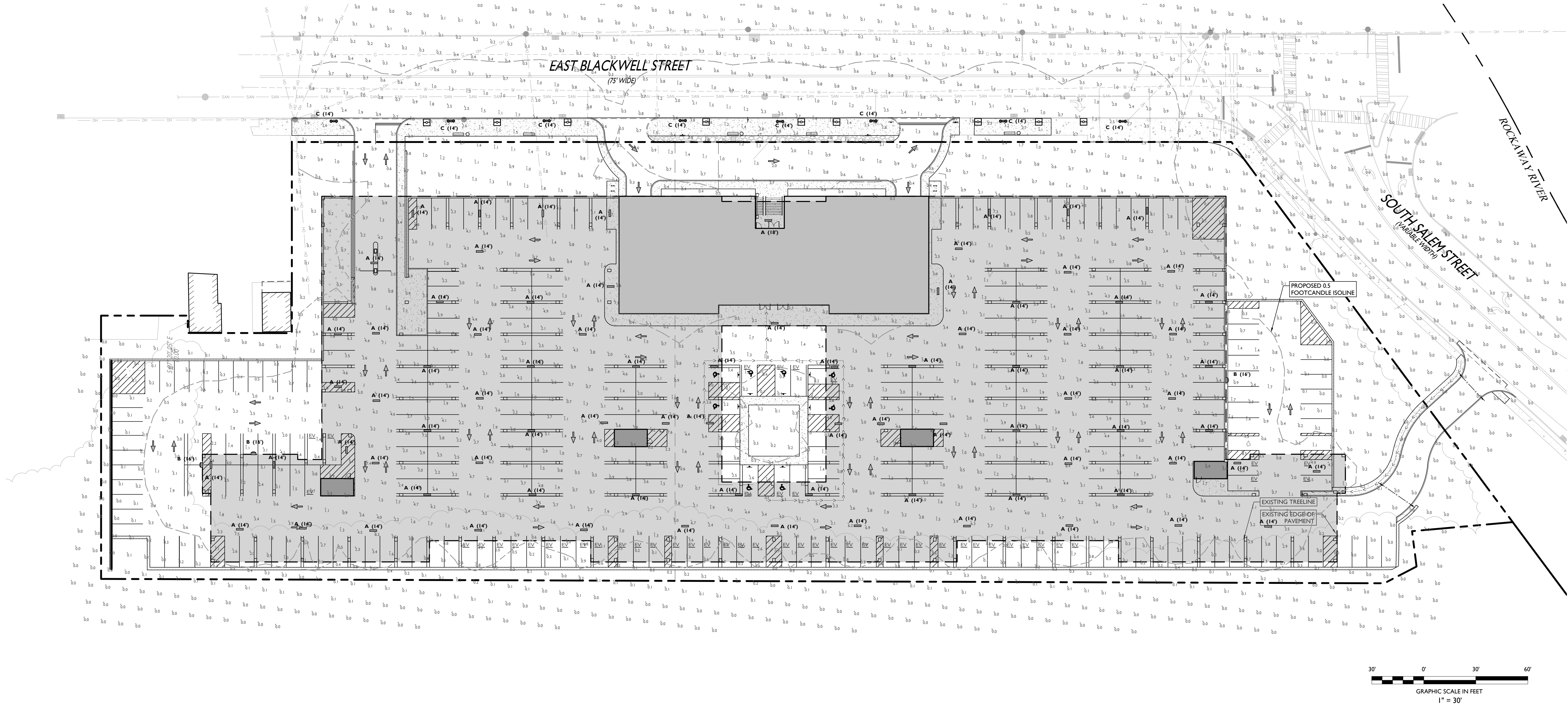
1. SOW ABOVE MIX AT A RATE OF 15 LBS./ACRE



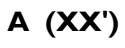



| PROPOSED LUMINAIRE SCHEDULE | | | | | | |
|---|-------|----------|---|--------------|------|--|
| SYMBOL | LABEL | QUANTITY | SECURITY LIGHTING | DISTRIBUTION | LLF | MANUFACTURER IES FILE |
|  | A | 82 | CREE CPY250 CANOPY LIGHT - 30K | -- | 0.90 | CREE LIGHTING CPY250-C-4L-30K8-F-ULIES |
|  | B | 3 | CREE EDGE SERIES WALL MOUNTED LIGHT - 30K - 40 LED - 525 mA | 3MB | 0.90 | CREE LIGHTING EDGE-3MB-EDITABLE.IES |
|  | C | 8 | HOLOPHANE GLASWERKS PRISMATIC LED BERN AREA LIGHT | -- | 0.90 | HOLOPHANE GBLB3 P10 30K XXXXX BGS.IES |

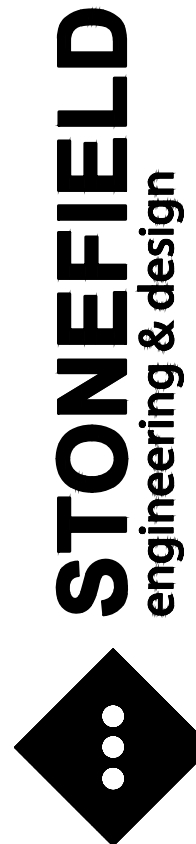
| DESIGN REQUIREMENTS | | |
|---------------------|--|----------|
| CODE SECTION | REQUIRED | PROPOSED |
| §236-43.H. | ALL LIGHTING USED TO ILLUMINATE ANY OFF-STREET PARKING OR LOADING AREA SHALL BE SO ARRANGED AS TO REFLECT THE LIGHT AWAY FROM ADJOINING RESIDENTIAL PREMISES. ILLUMINATION LEVELS SHALL BE IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IES) LIGHTING HANDBOOK. | COMPLIES |

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE, WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



| SYMBOL | DESCRIPTION |
|---|---|
|  | PROPOSED CALCULATION AREA |
|  | PROPOSED ISOMETRIC LINE |
|  | PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT) |
|  | PROPOSED LIGHTING INTENSITY (FOOTCANDELS) |
|  | PROPOSED BUILDING MOUNTED LIGHT |
|  | PROPOSED AREA LIGHT |



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15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN
DEUGEN DEVELOPMENT, LLC
PROPOSED RESIDENTIAL
DEVELOPMENT

BLOCK 1902, LOTS 222-28
218-220 E BLACKWELL STREET
TOWN OF DOVER
MORRIS COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' PROJECT ID: T-16195.02

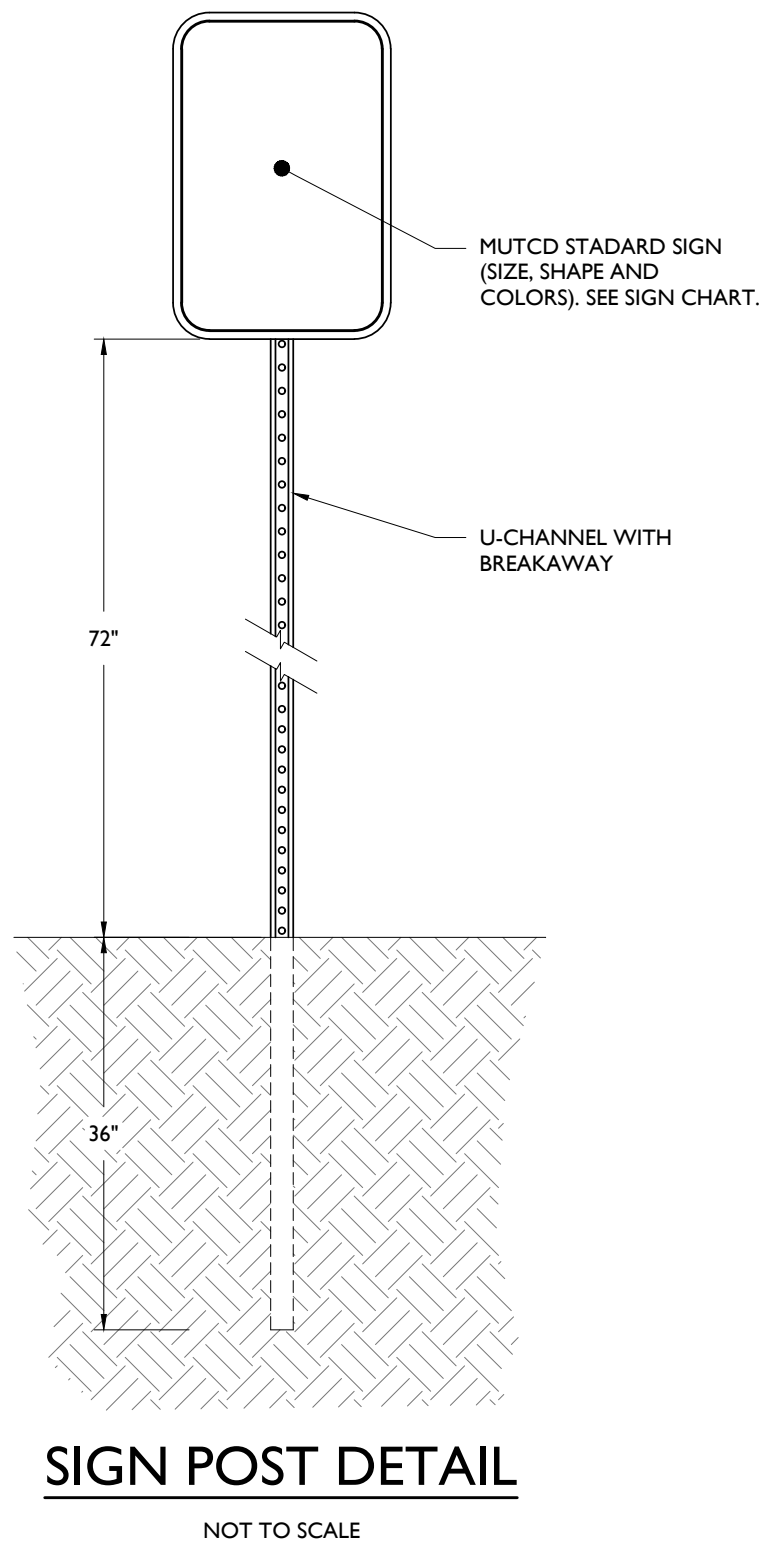
TITLE:

LIGHTING PLAN

DRAWING:

C-11

T:\2016\1419502 DEUGEN DEVELOPMENT - 21 E BLACKWELL STREET, DOVER, NJ\CDR\07\07\CDR\1419502.DWG



SIGN POST DETAIL
NOT TO SCALE

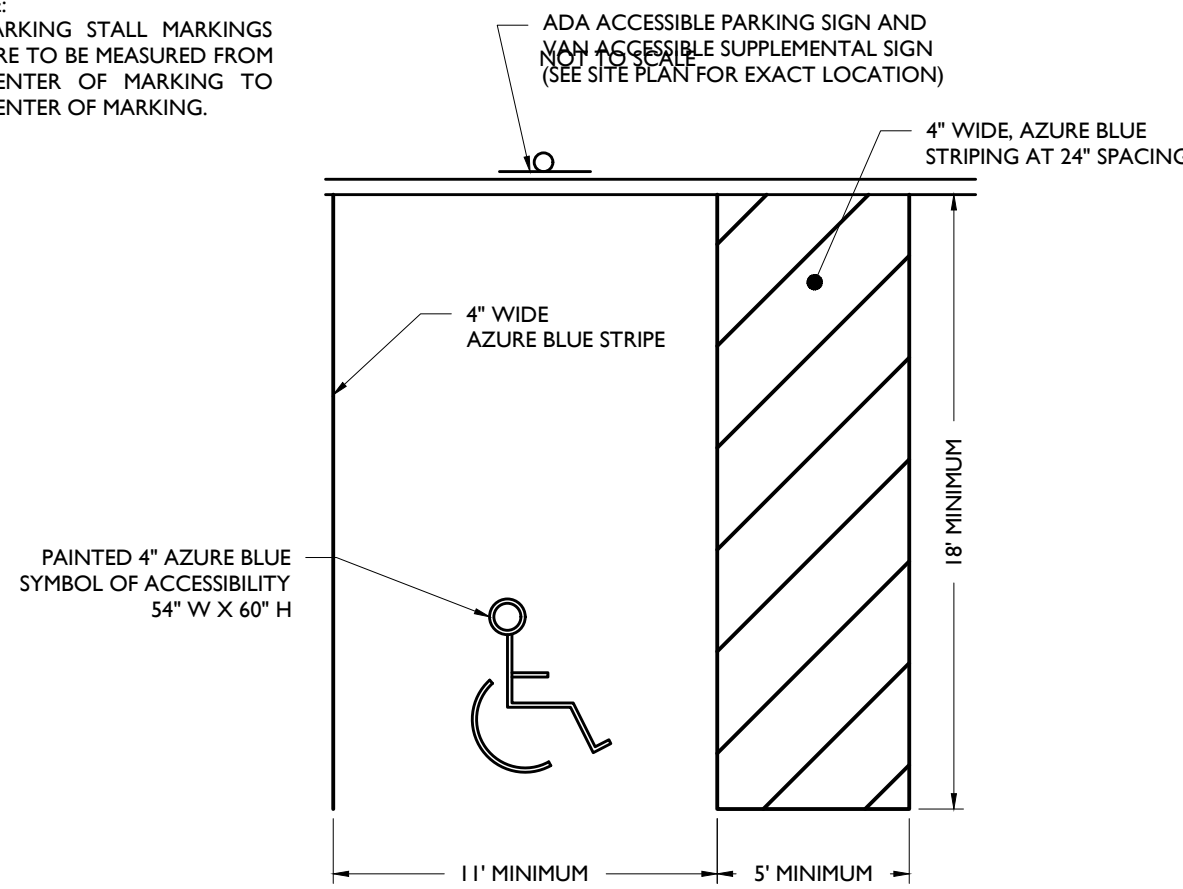
| M.U.T.C.D. NUMBER | TEXT | COLOR | | SIZE OF SIGN (WIDTH X HEIGHT) | TYPE OF MOUNT |
|---------------------------------|------|--------|------------|-------------------------------|---------------|
| | | LEGEND | BACKGROUND | | |
| STOP SIGN (R1-1) | | RED | WHITE | 36"x36" | GROUND |
| ONE WAY RIGHT (R6-1R) | | BLACK | WHITE | 36"x12" | GROUND |
| DO NOT ENTER (R5-1) | | RED | WHITE | 30"x30" | GROUND |
| DRIVEWAY FOR EMERGENCY USE ONLY | | RED | WHITE | 30"x30" | GROUND |

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

2

NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

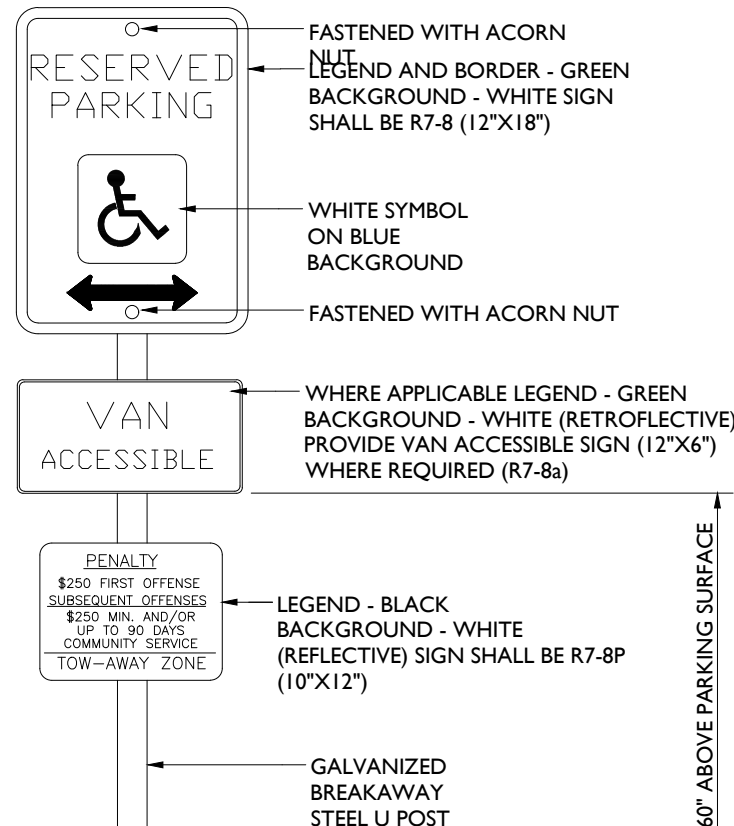


ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

5

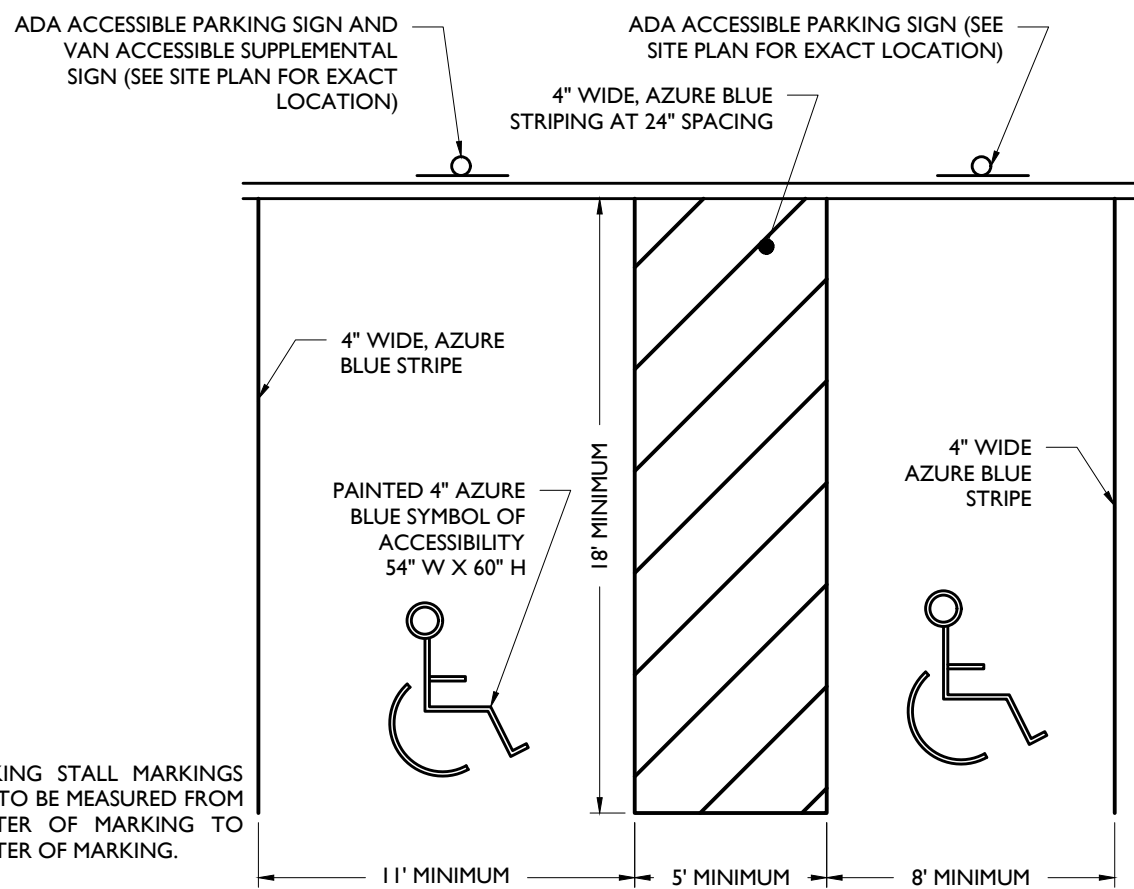
NOTES:
1. SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



ACCESSIBLE PARKING SIGN

NOT TO SCALE

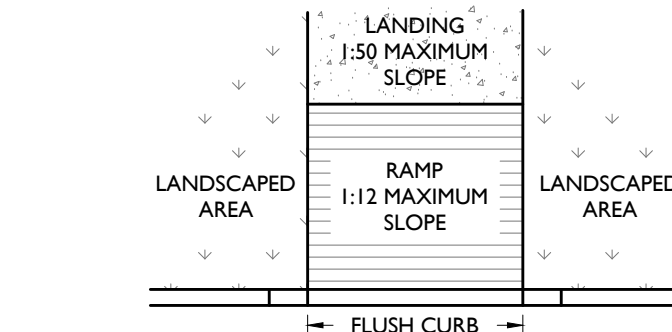
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ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

6

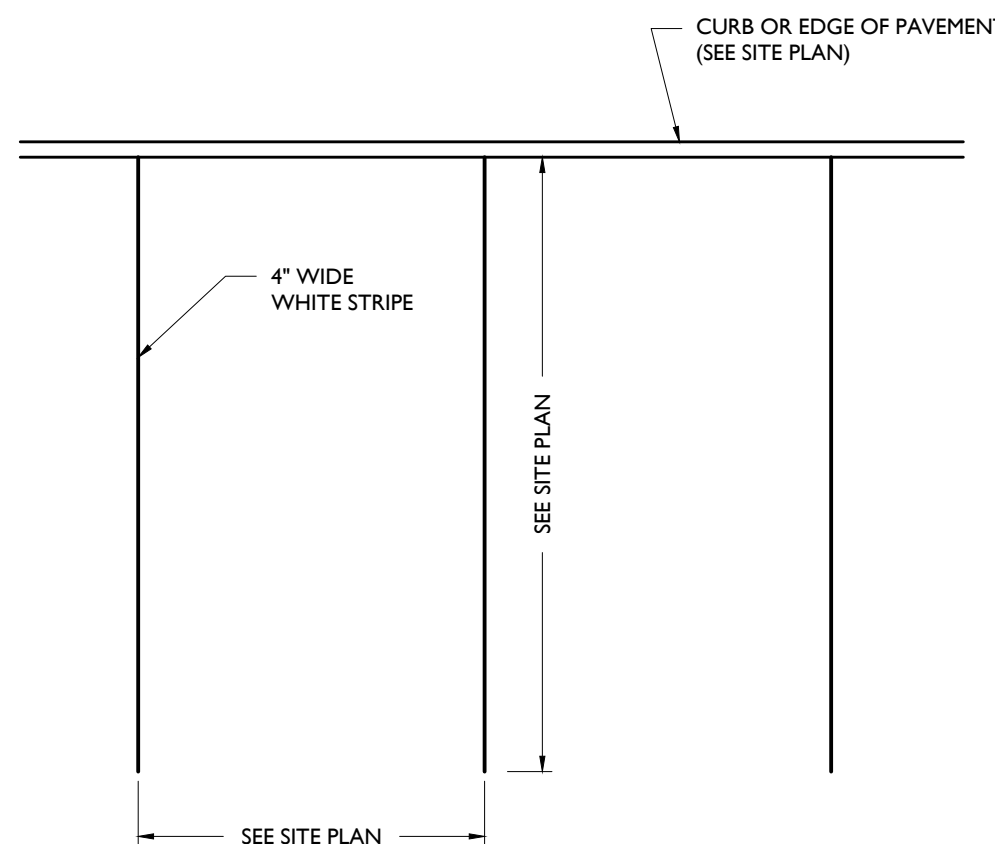


CURB RAMP DETAIL

NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL

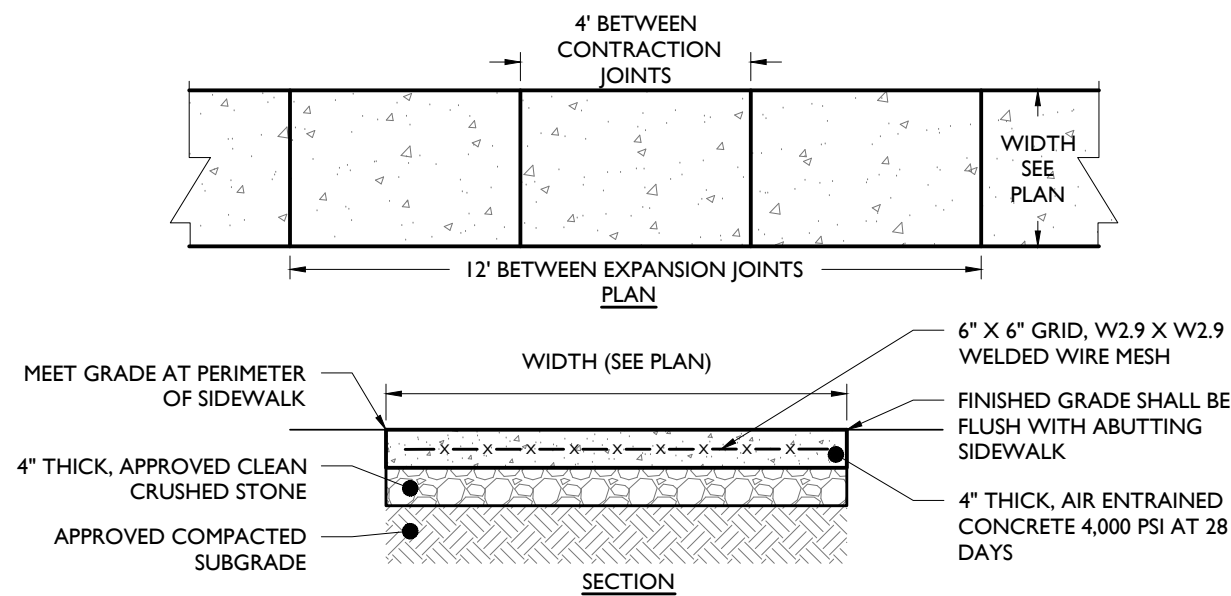
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PARKING STALL MARKINGS

NOT TO SCALE

7

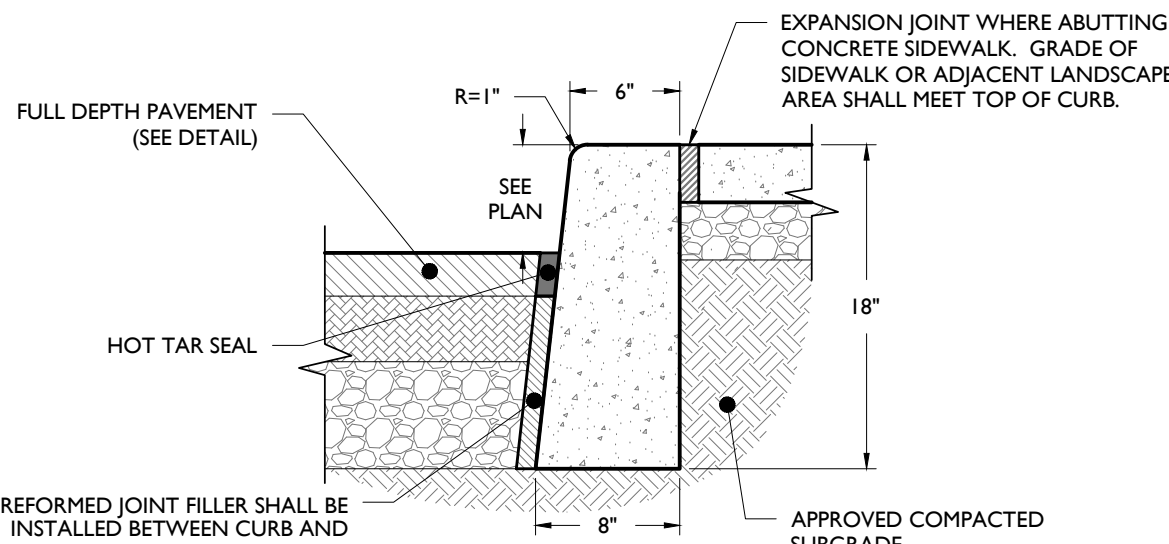


REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

8

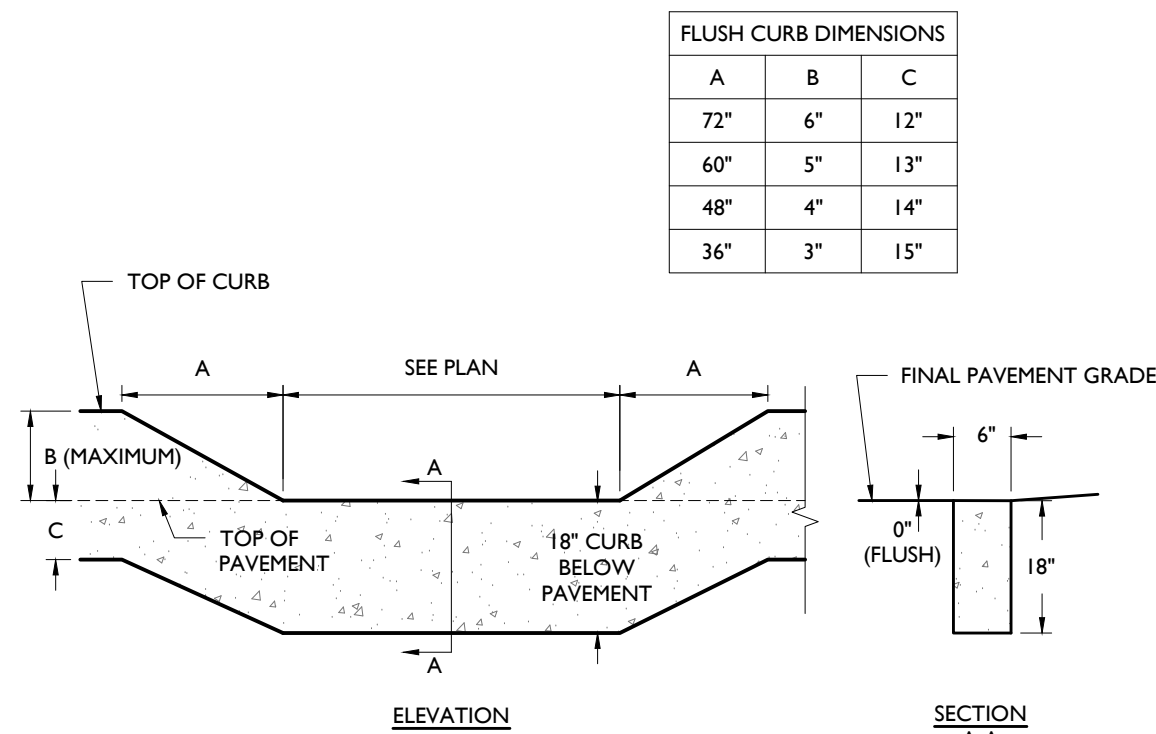


CONCRETE CURB DETAIL

NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

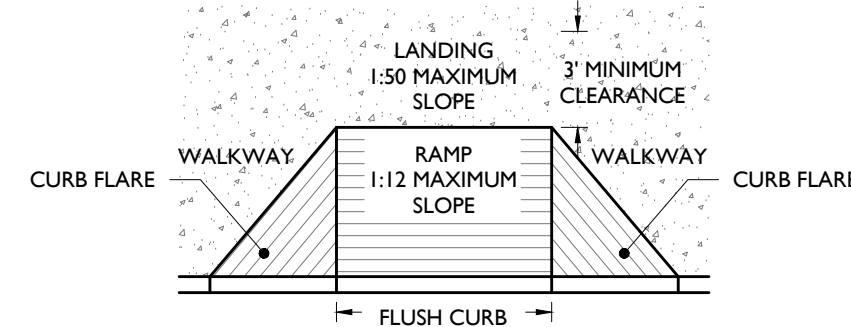
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FLUSH CURB DETAIL

NOT TO SCALE

10

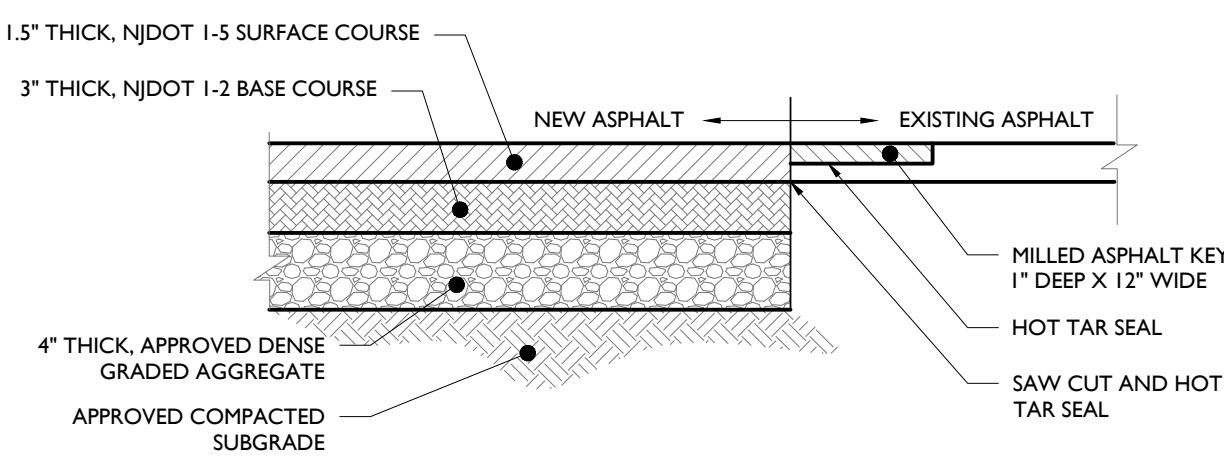


CURB RAMP WITH FLARES DETAIL

NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1:50 SLOPE.
2. WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE. WHERE LANDING IS NOT PROVIDED RAMP FLARE SHALL NOT EXCEED 1:12 SLOPE.
3. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
4. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL

11

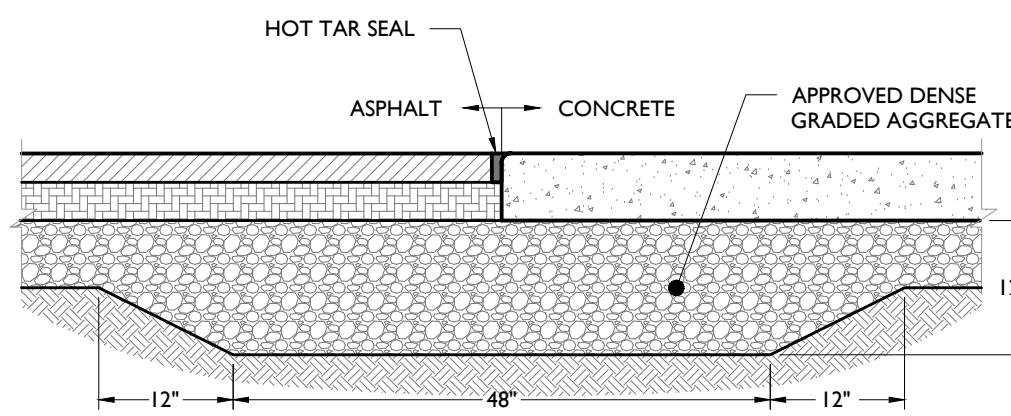


FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

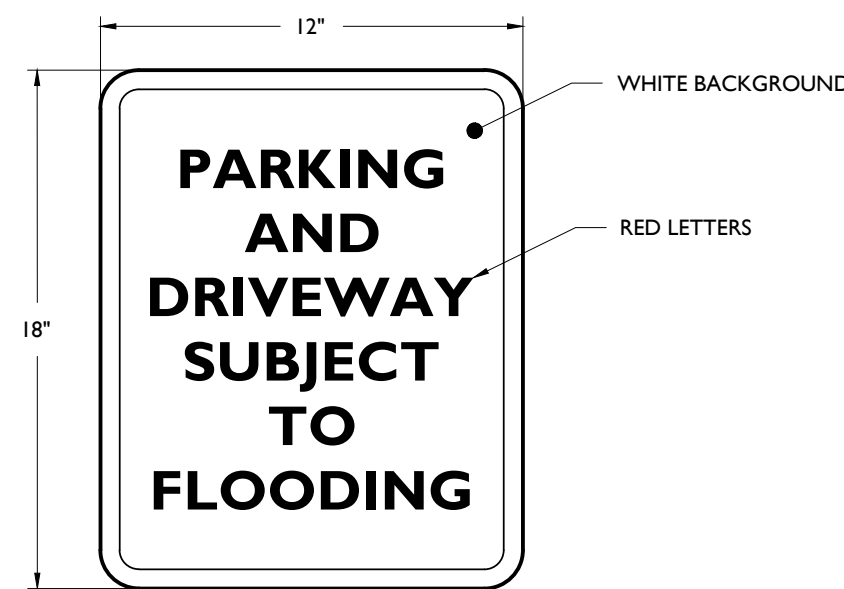
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CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

13

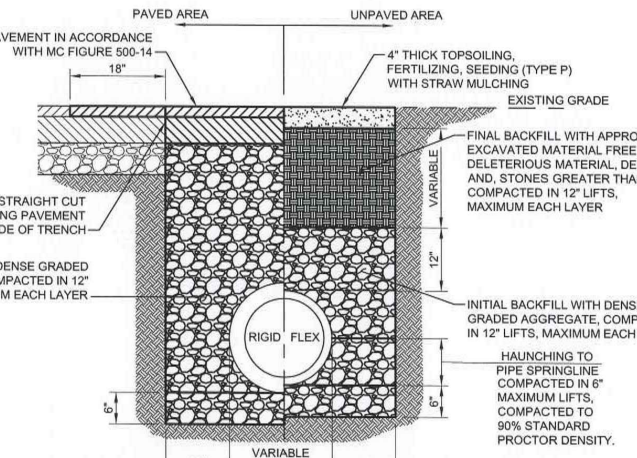


FLOOD HAZARD WARNING SIGN

NOT TO SCALE

NOTE:
1. SIGN TO BE AFFIXED TO GARAGE WALL AT A HEIGHT OF 5 FEET

14



MORRIS COUNTY TYPICAL TRENCH RESTORATION DETAIL

NOT TO SCALE

NOTES:
1. REINFORCED CONCRETE CULVERT PIPE, MINIMUM 15" DIAMETER, SHALL BE UTILIZED IN ALL COUNTY RIGHT-OF-WAYS WHETHER PAVED OR UNPAVED.
2. CONTRACTOR SHALL HAND COMPACT DGA BENEATH THE HAUNCHES OF FLEXIBLE PIPE TO ENDURE INSTALLATION MEETS OR EXCEEDS MANUFACTURER'S SPECIFICATIONS.
3. IF NO OTHER CONTROLLING FACTORS EXIST, ALL CONCRETE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ACTIVE STANDARD ASTM C1479. ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ACTIVE STANDARDS ASTM D2321.
4. SOIL IN THE OUTER BEDDING, HAUNCH, AND LOWER SIDE ZONES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS THE MAJORITY OF SOIL IN THE OVERFILL ZONE. SOIL SHALL BE COMPACTED WITHIN 2% OF OPTIMUM WATER CONTENT.
5. BACKFILLING WITH EXCAVATED MATERIAL SHALL NOT BE PERMITTED IN TRENCHES FOR STORM SEWERS AND ALL OTHER UTILITIES. TYPE OF SEEDING SHALL MEET THE MORRIS COUNTY SOIL CONSERVATION DISTRICT REQUIREMENTS.
6. SURFACE COURSE PAVEMENT SHALL BE PLACED IN TWO STAGES IN ACCORDANCE WITH THE FOLLOWING:
A. STAGE I - 2" HMA 9.5M 64 SHALL BE COMPACTED FLUSH TO EXISTING PAVEMENT.
B. STAGE II - AFTER 6 MONTHS, THE TRENCH WIDTH PLUS 36" SHALL BE MILLED 2" DEEP AND SHALL BE RESURFACED WITH 2" HMA 9.5M 64 COMPACTED FLUSH TO EXISTING PAVEMENT.

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SCALE: AS SHOWN PROJECT ID: T-16195.02

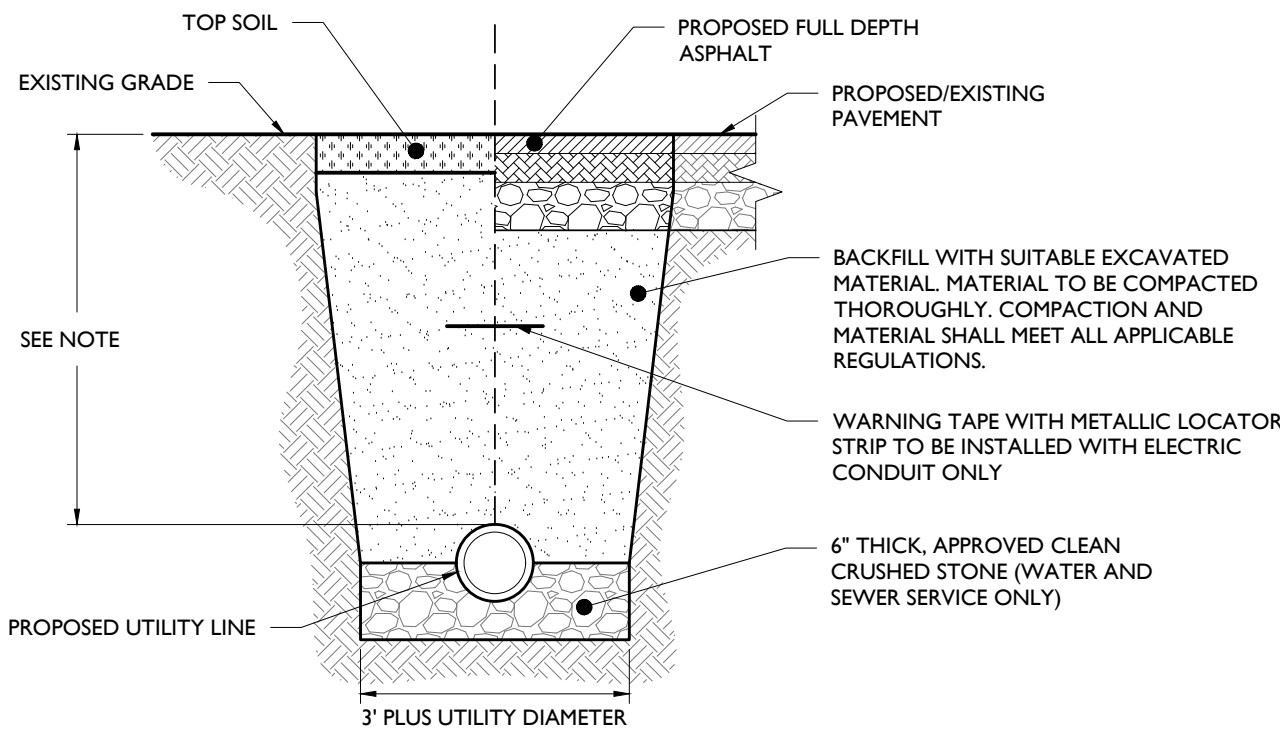
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CONSTRUCTION DETAILS

DRAWING:

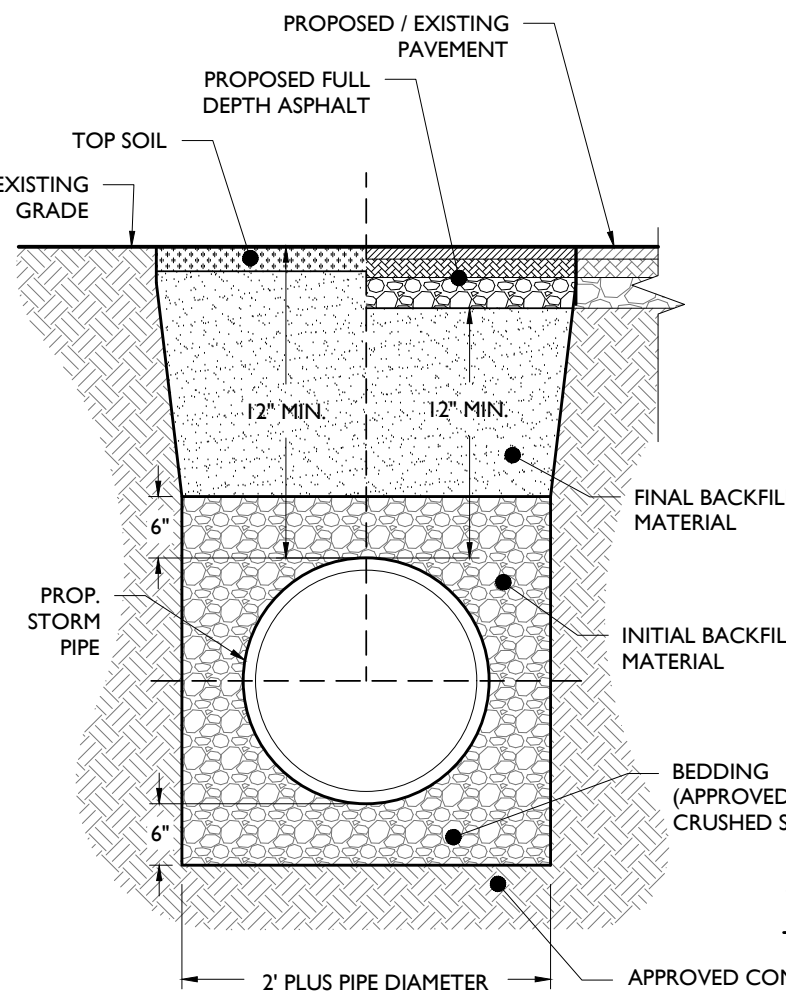
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T:\2024\1419502 DEUGEN DEVELOPMENT - 21 E BLACKWELL STREET, DOVER, NC\DRAWINGS\CD\CD-13-15.DWG



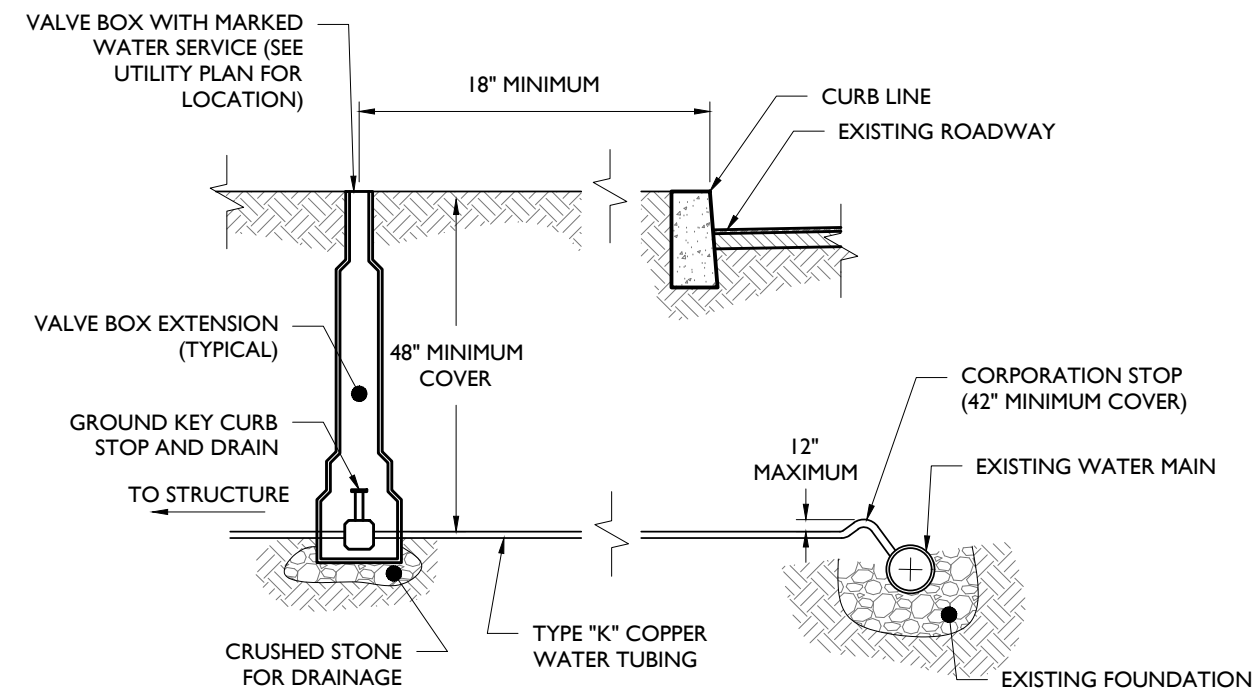
UTILITY TRENCH DETAIL

NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOW:
• ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
• GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
• SEWER SERVICE - 36" MINIMUM
• WATER SERVICE - 48" MINIMUM



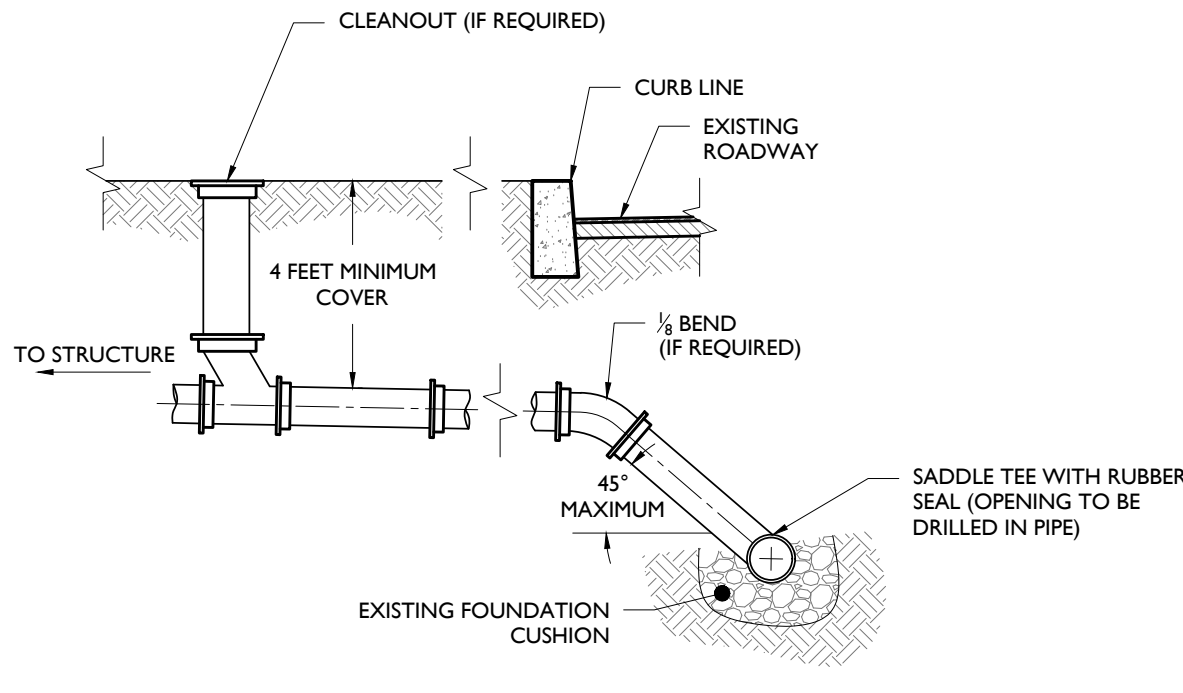
STORM TRENCH DETAIL

- NOTES:
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
 3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
 4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
 6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
 7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.



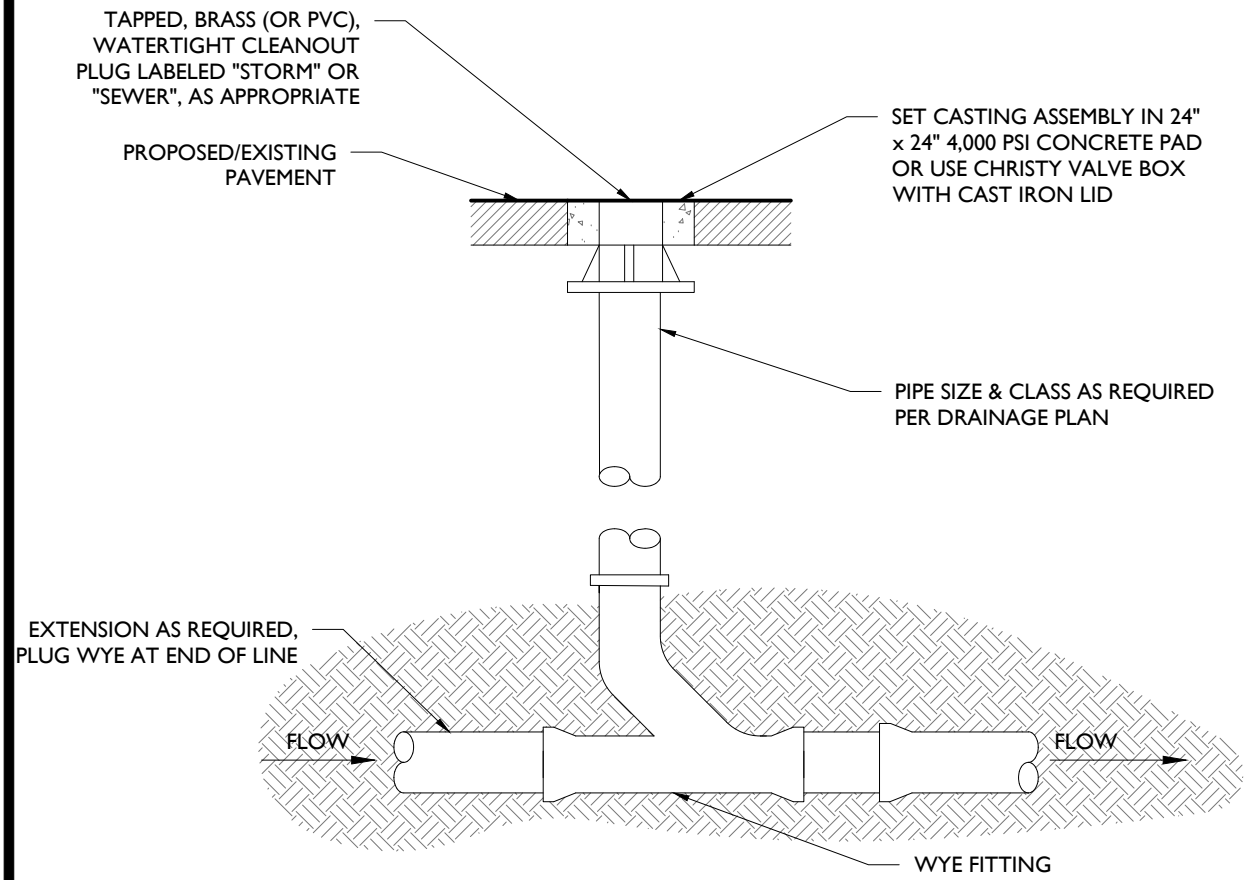
WATER CONNECTION DETAIL

NOT TO SCALE



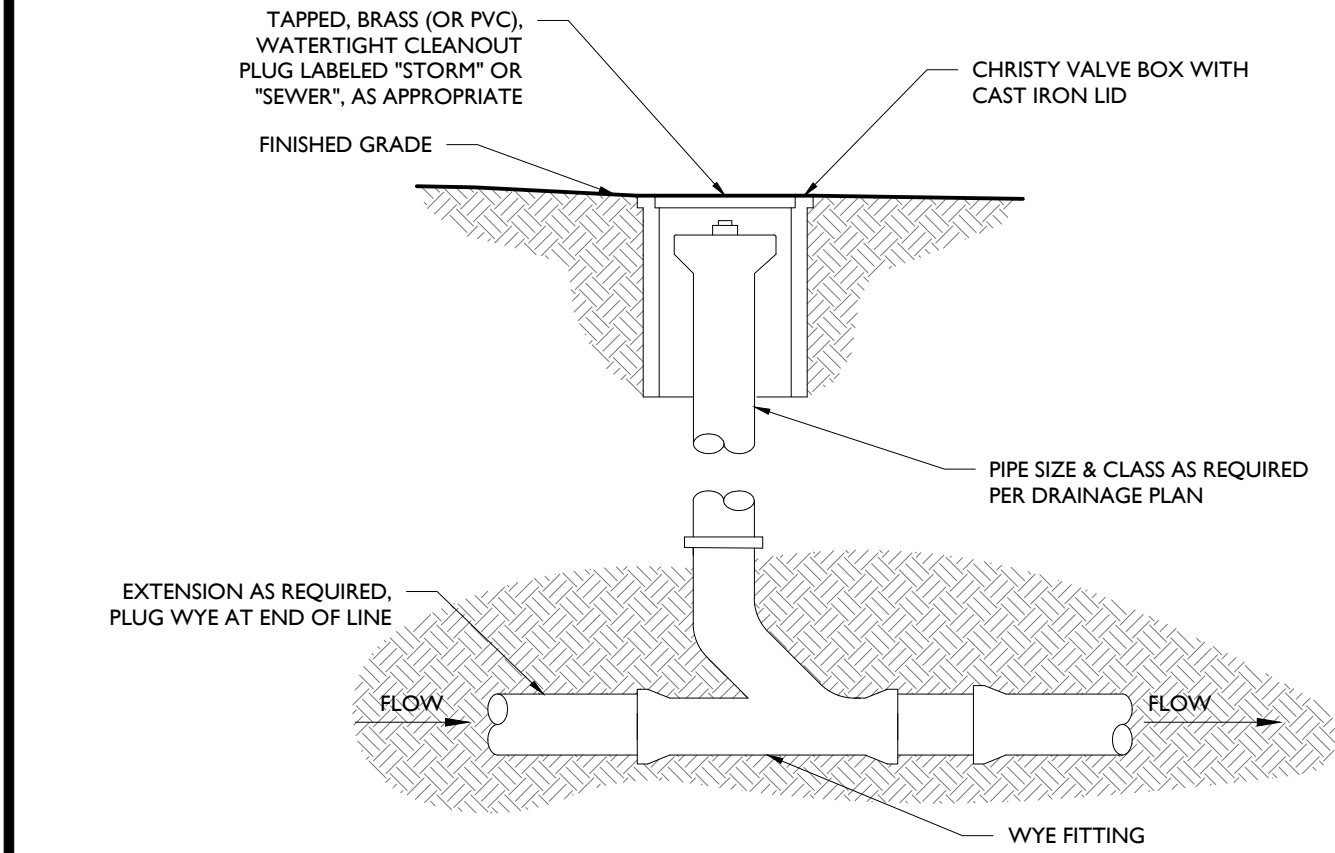
SEWER CONNECTION DETAIL

NOT TO SCALE



HARDSCAPE CLEAN-OUT

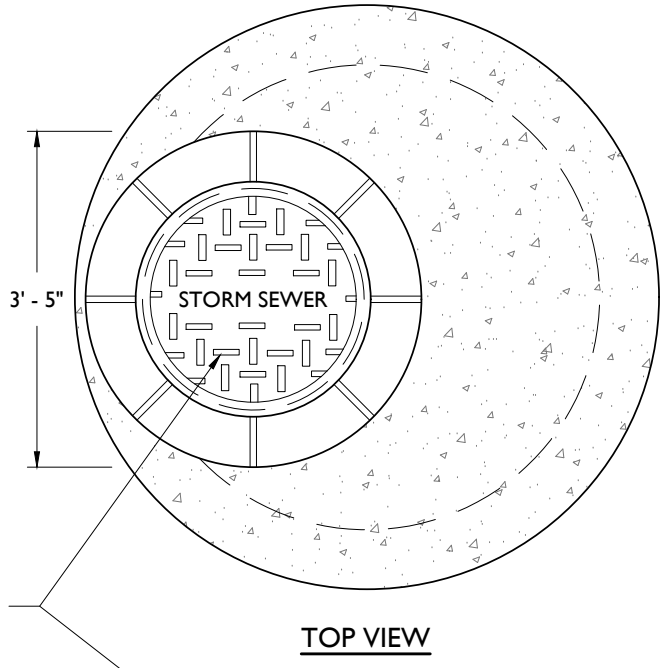
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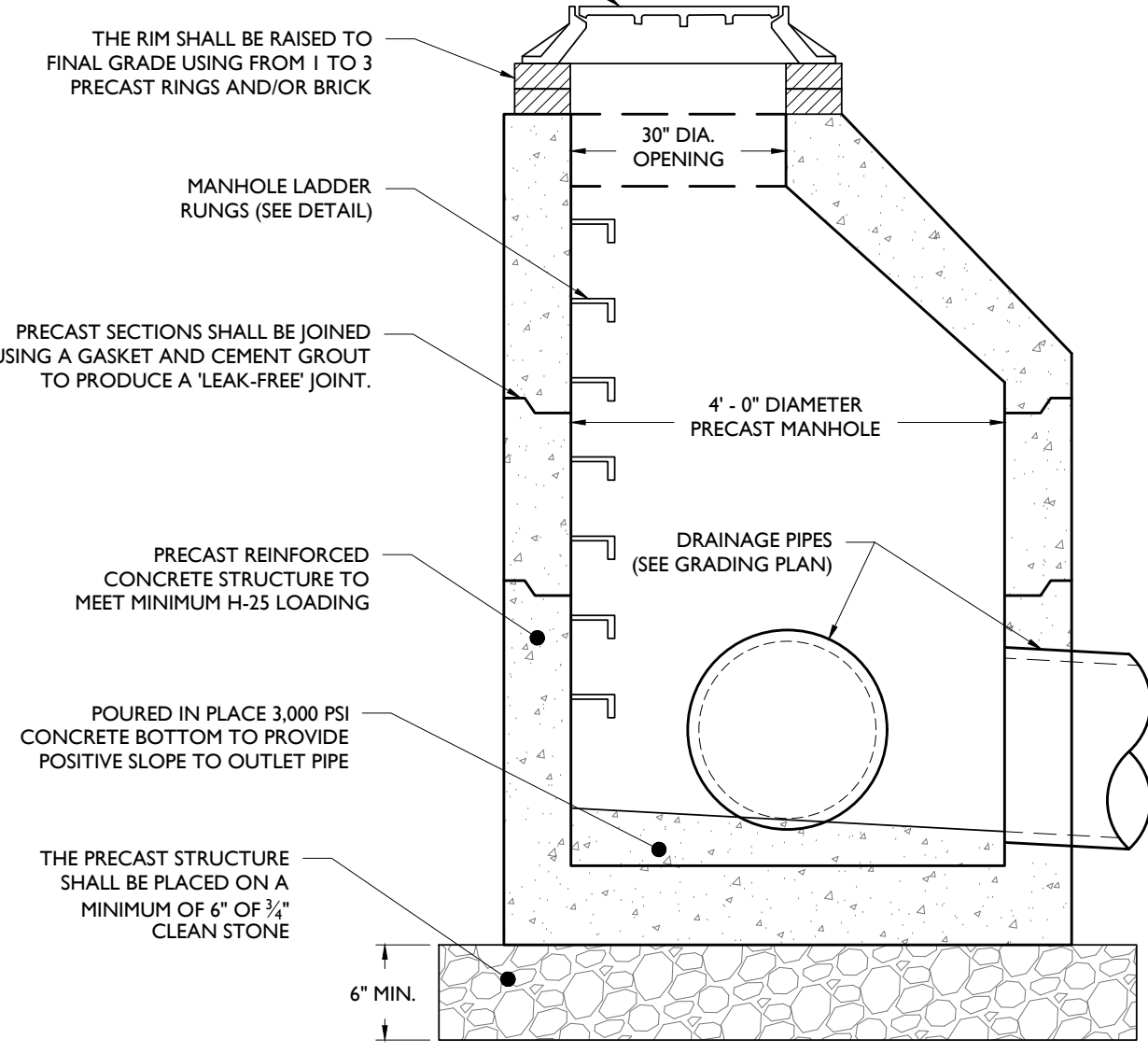
SOFTSCAPE CLEAN-OUT

NOT TO SCALE

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



TOP VIEW

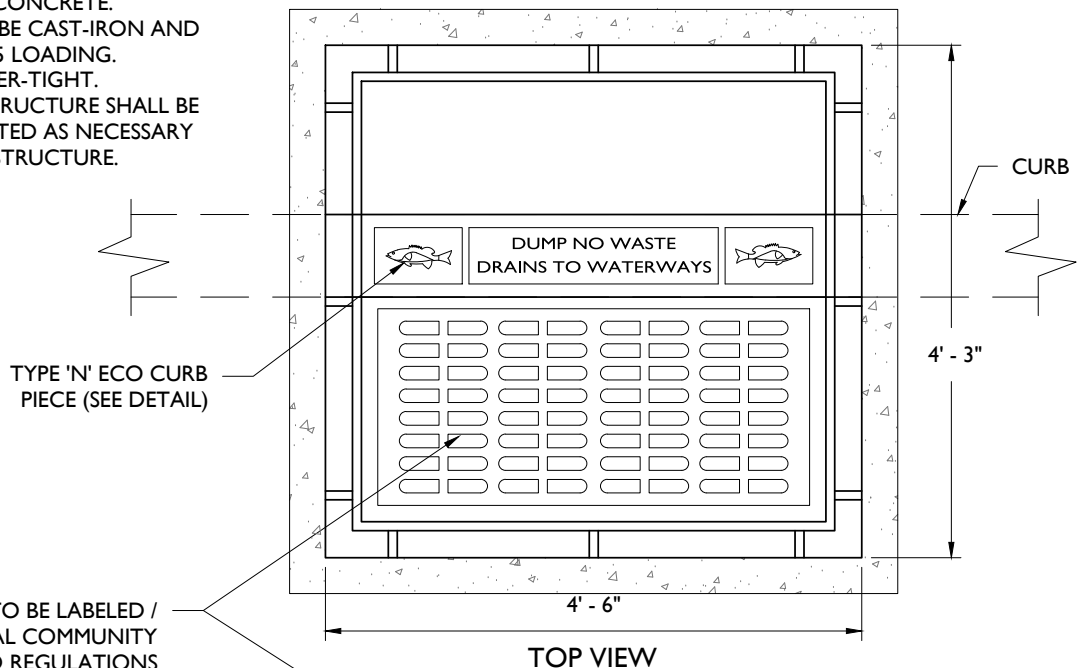


SIDE VIEW

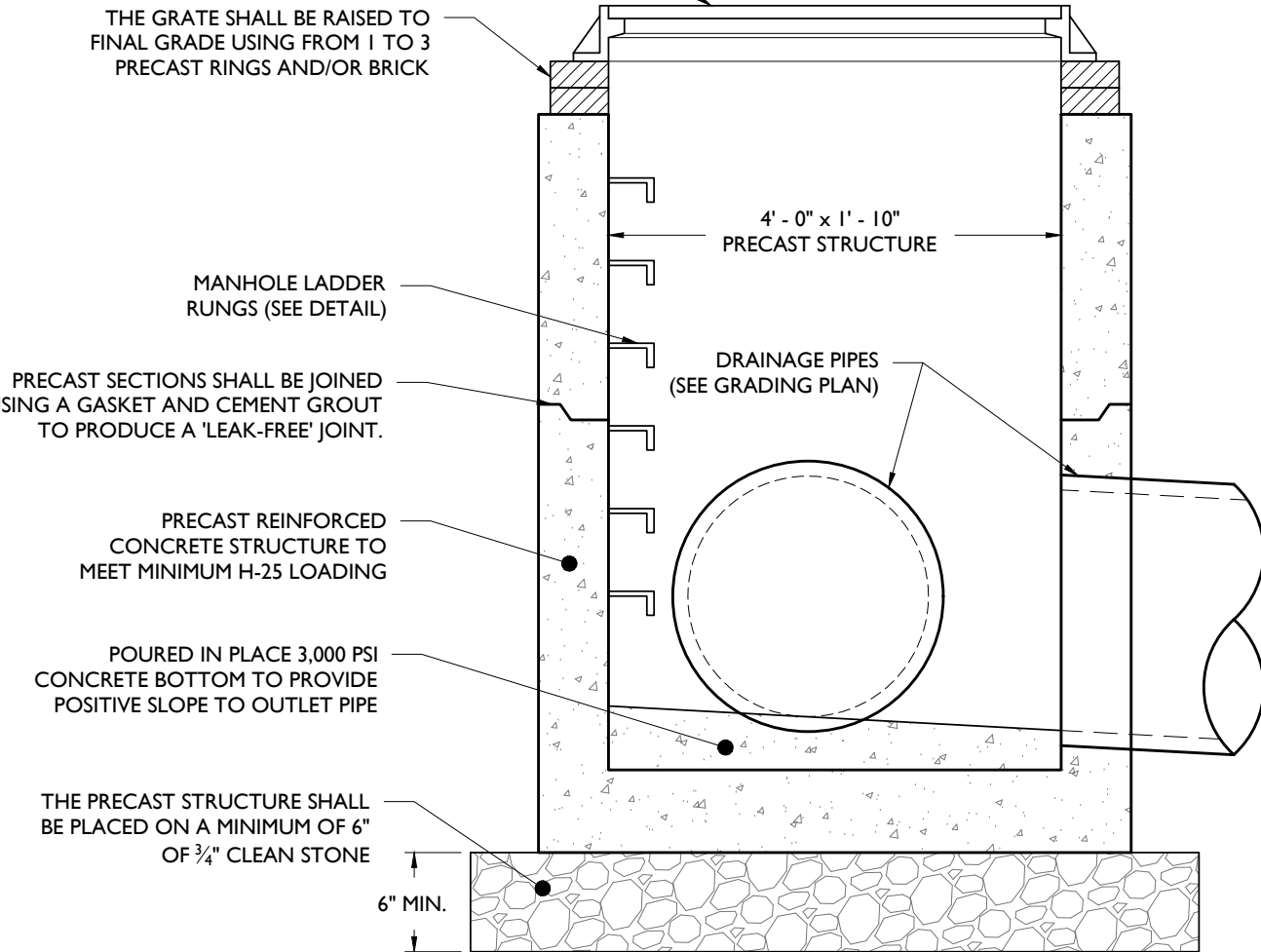
STORM MANHOLE DETAIL

NOT TO SCALE

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



TOP VIEW

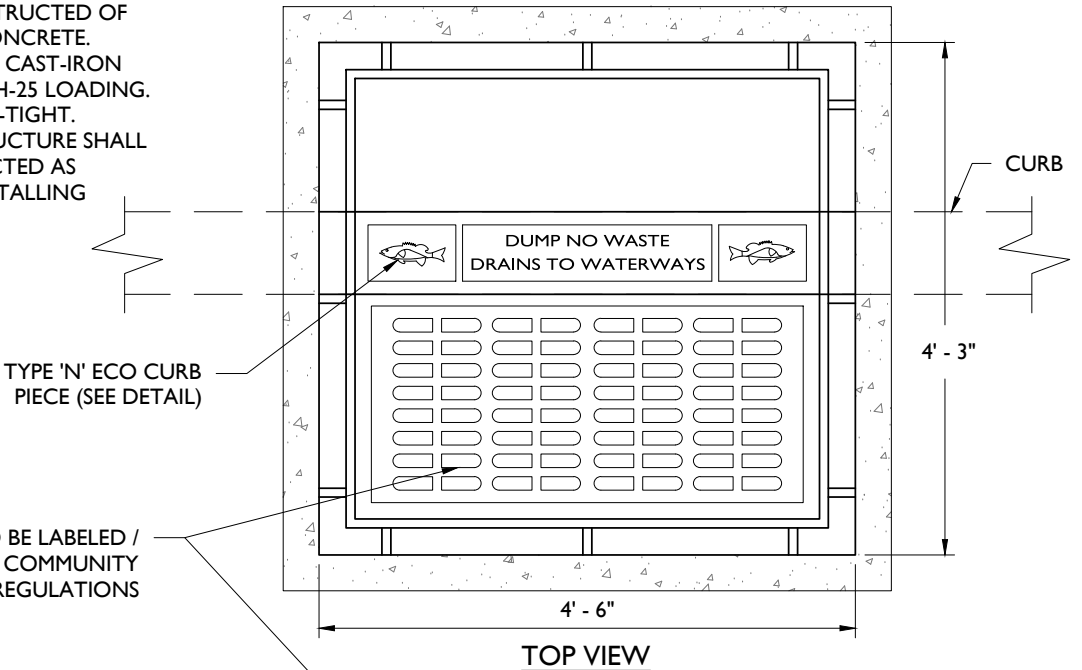


SIDE VIEW

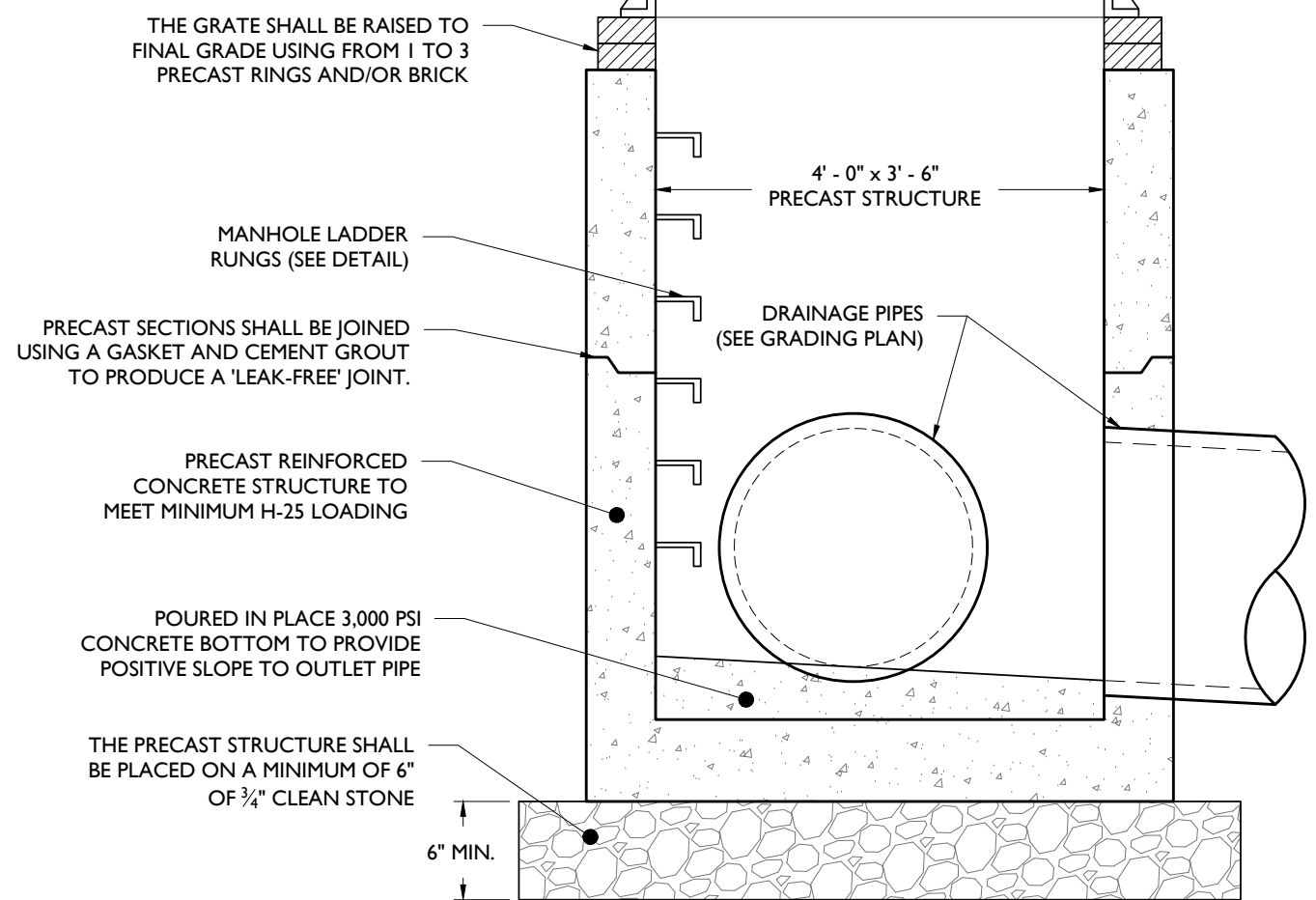
TYPE 'A' STORM INLET DETAIL

NOT TO SCALE

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



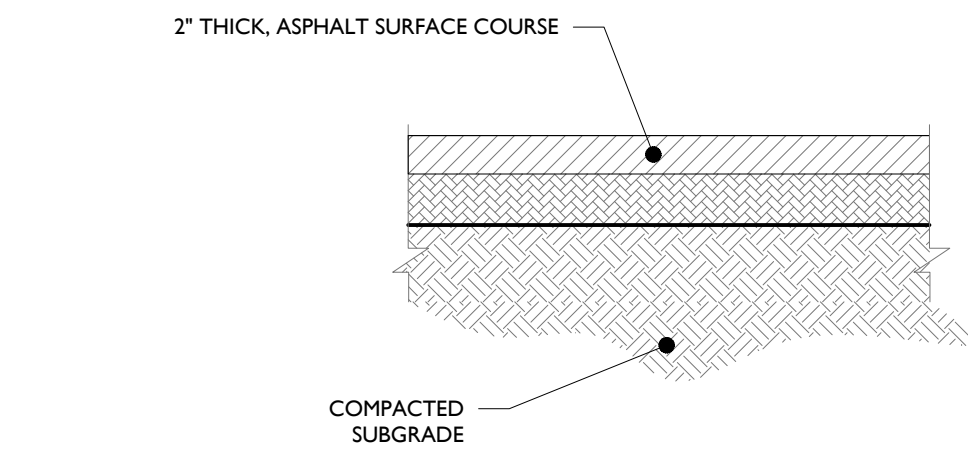
TOP VIEW



SIDE VIEW

TYPE 'B' STORM INLET DETAIL

NOT TO SCALE



ASPHALT PAVEMENT DETAIL FOR BASE OF CHAMBER

NOT TO SCALE

| FOR MUNICIPAL RESUBMISSION | FOR MUNICIPAL RESUBMISSION | FOR MUNICIPAL RESUBMISSION | FOR MUNICIPAL RESUBMISSION | FOR INITIAL TOWN APPLICATION | PER COUNTY COMMENTS | PER COUNTY COMMENTS | PER COUNTY REVIEW | BY | DATE | ISSUE |
|----------------------------|----------------------------|----------------------------|----------------------------|------------------------------|---------------------|---------------------|-------------------|----|------|-------|
| JMK | BS | BS | JCL | JCL | JCL | JCL | JCL | | | |
| 06 | 05 | 04 | 03 | 02 | 01 | 00 | | | | |
| 10/14/2024 | 01/15/2024 | 12/18/2023 | 11/02/2023 | 06/22/2023 | 05/04/2022 | 03/04/2022 | | | | |

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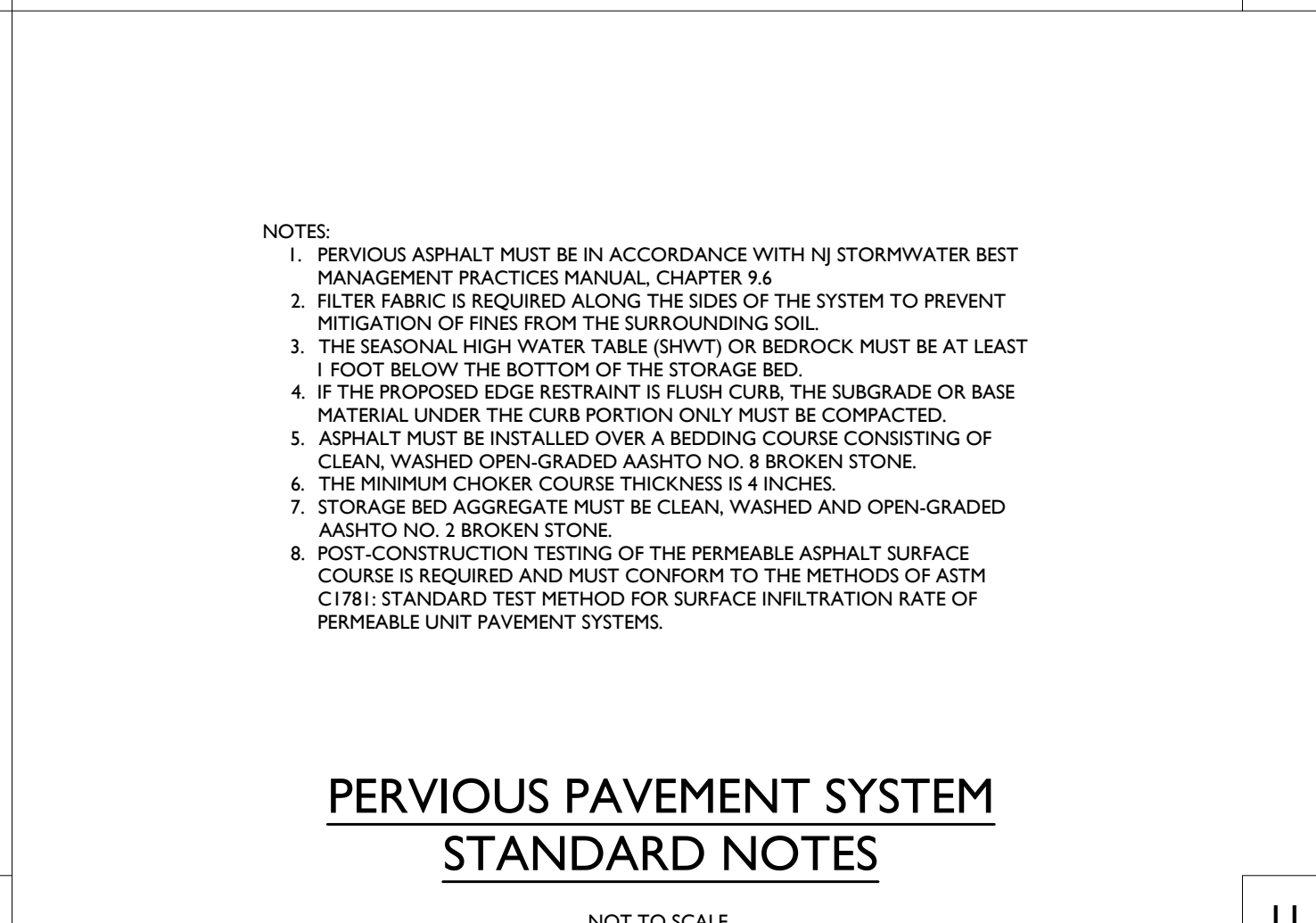
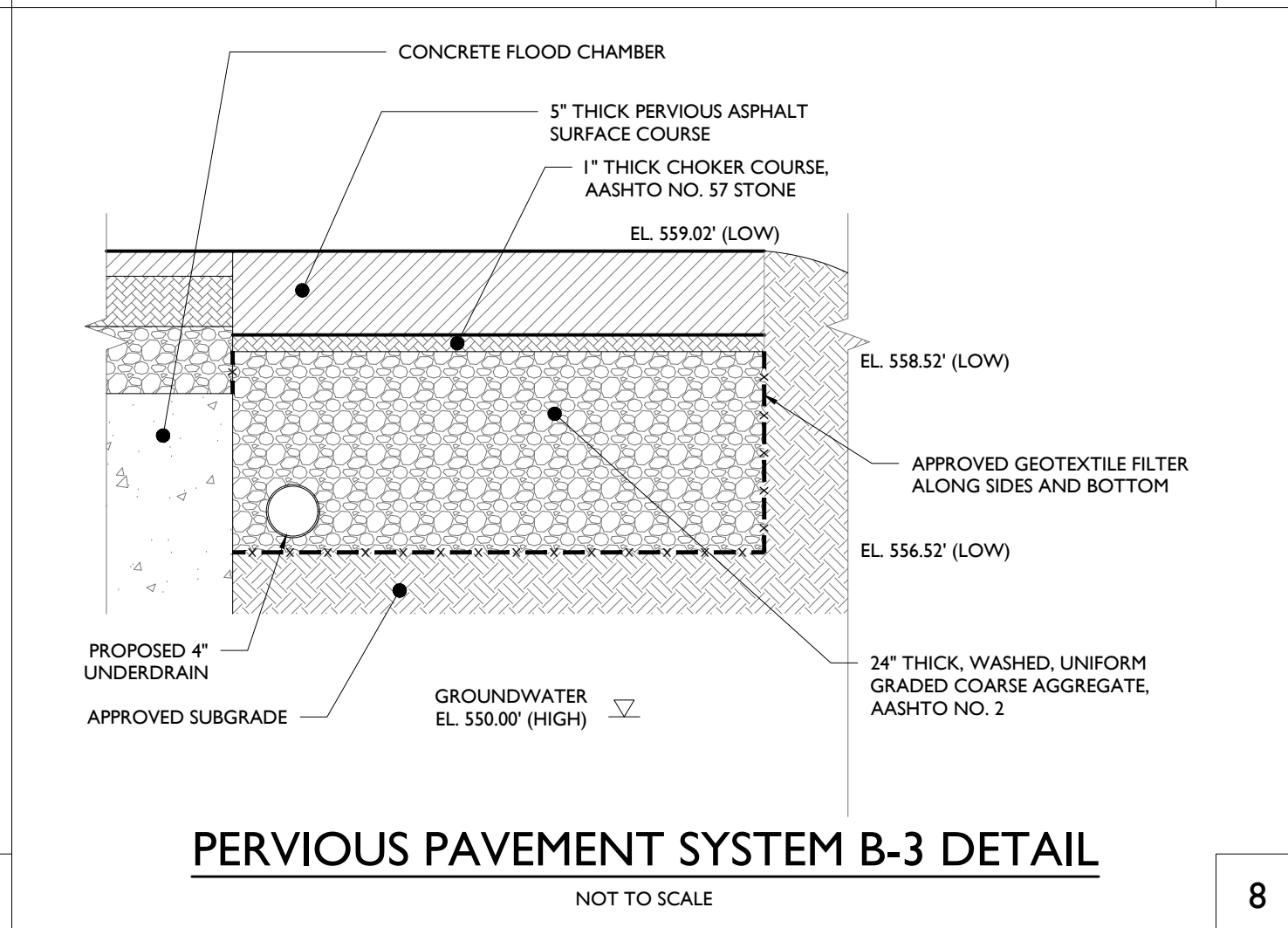
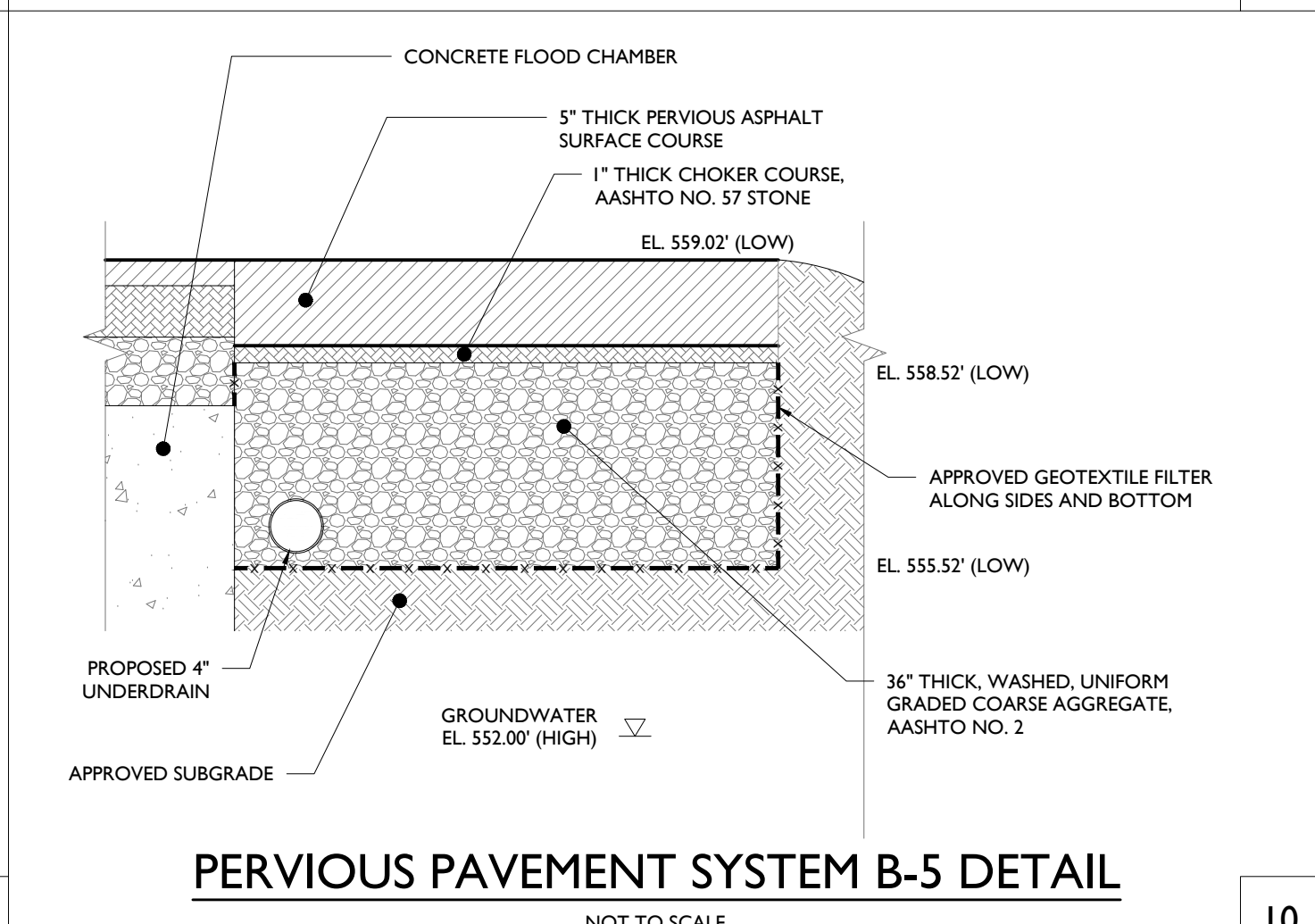
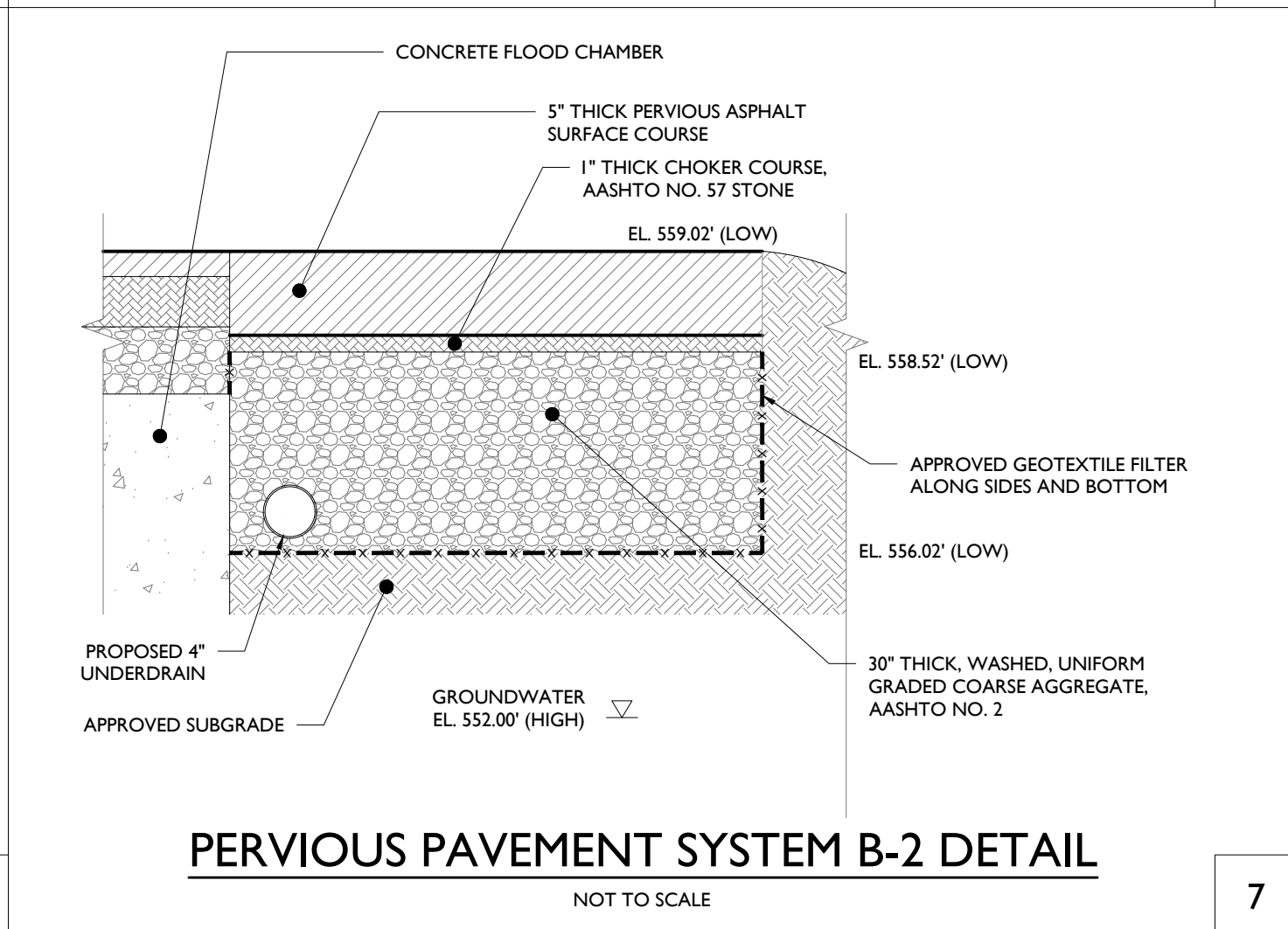
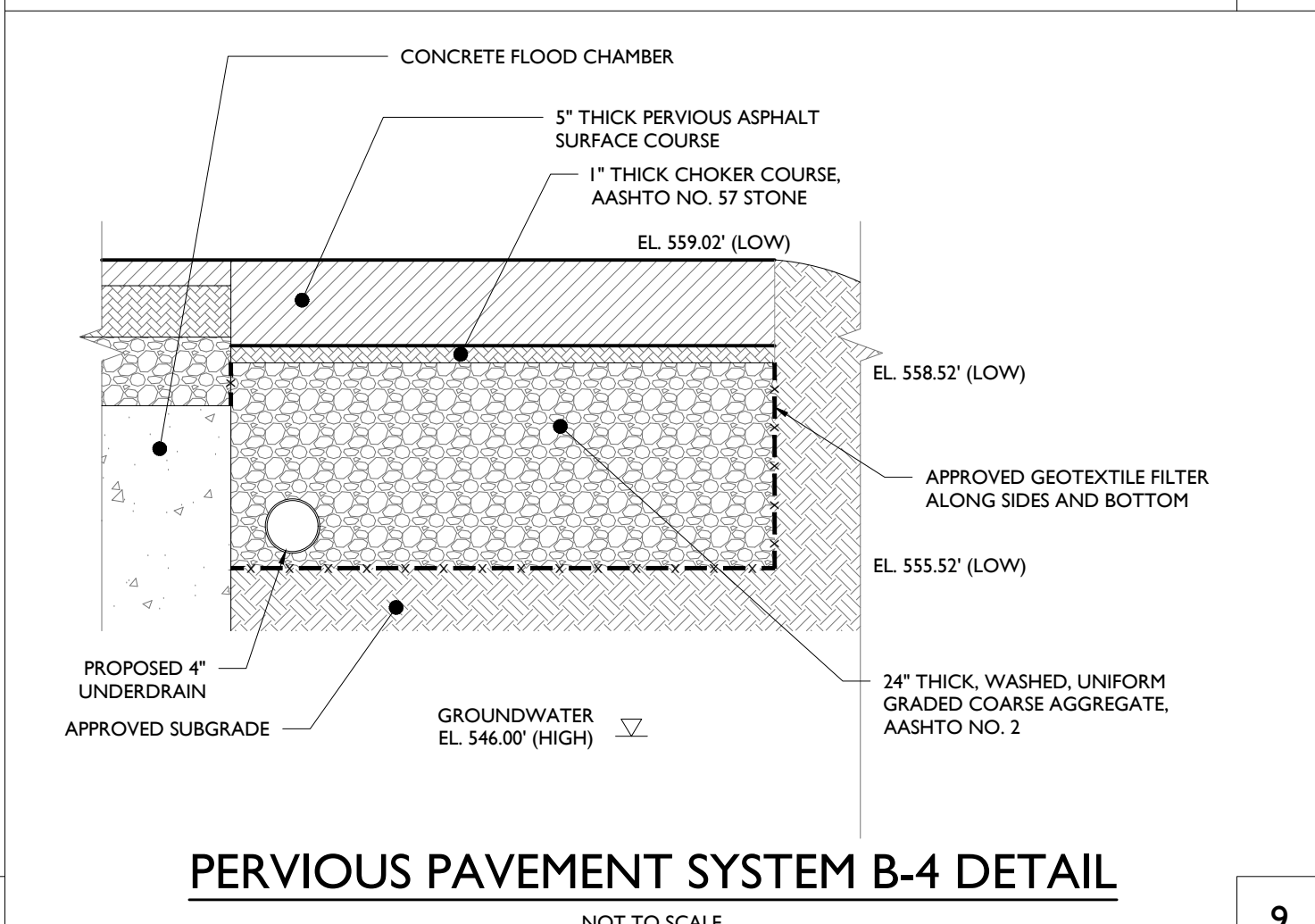
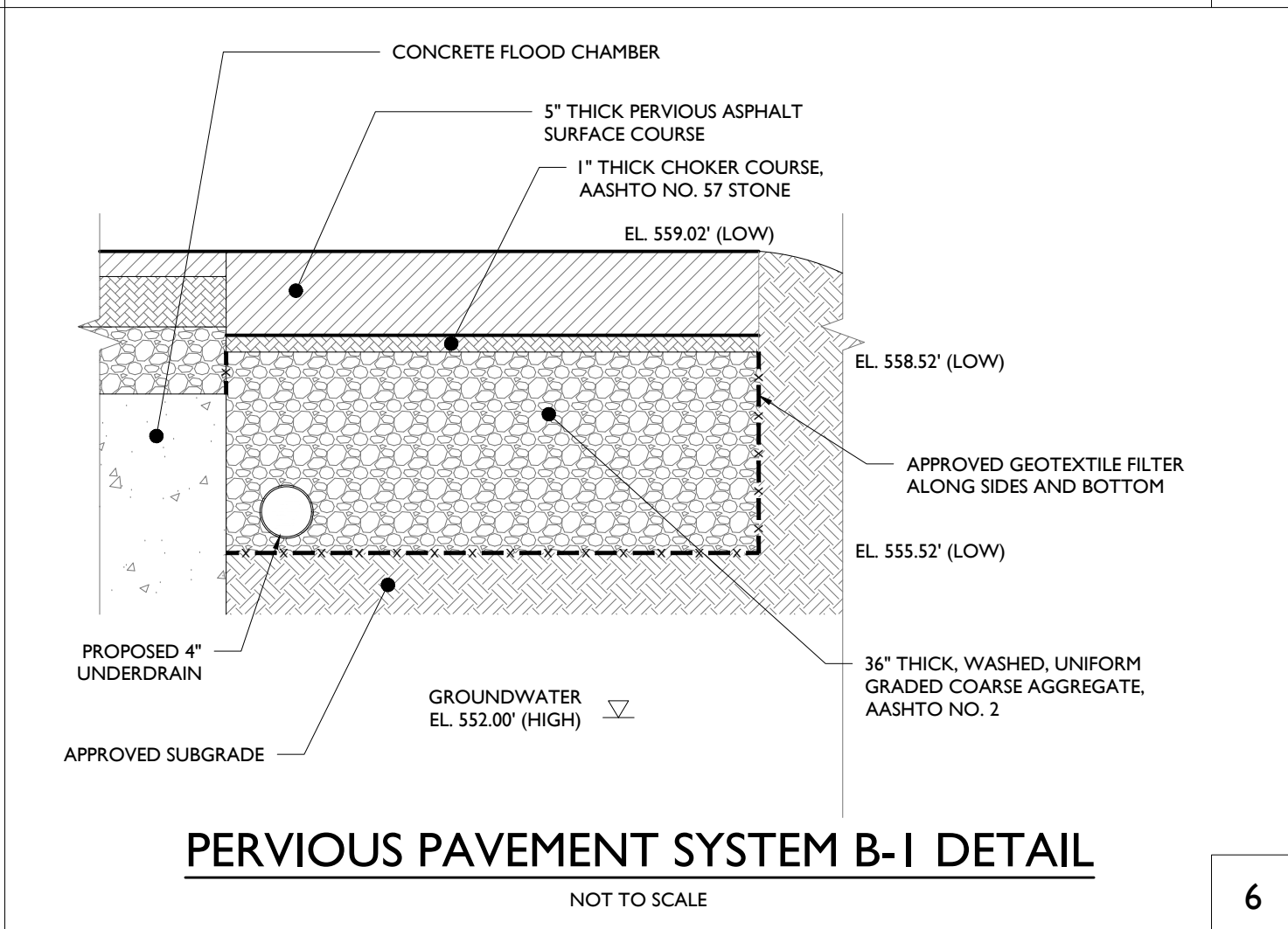
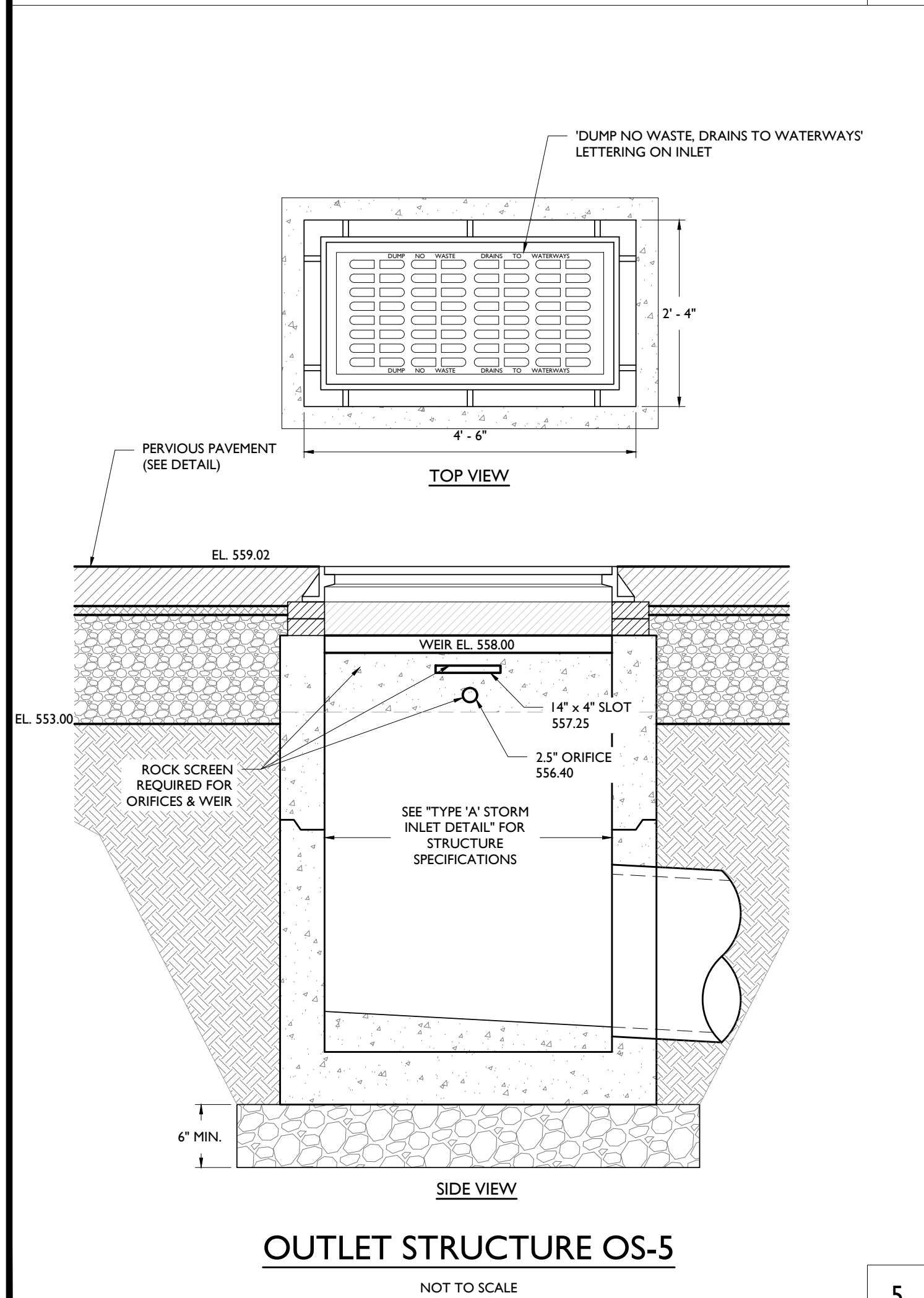
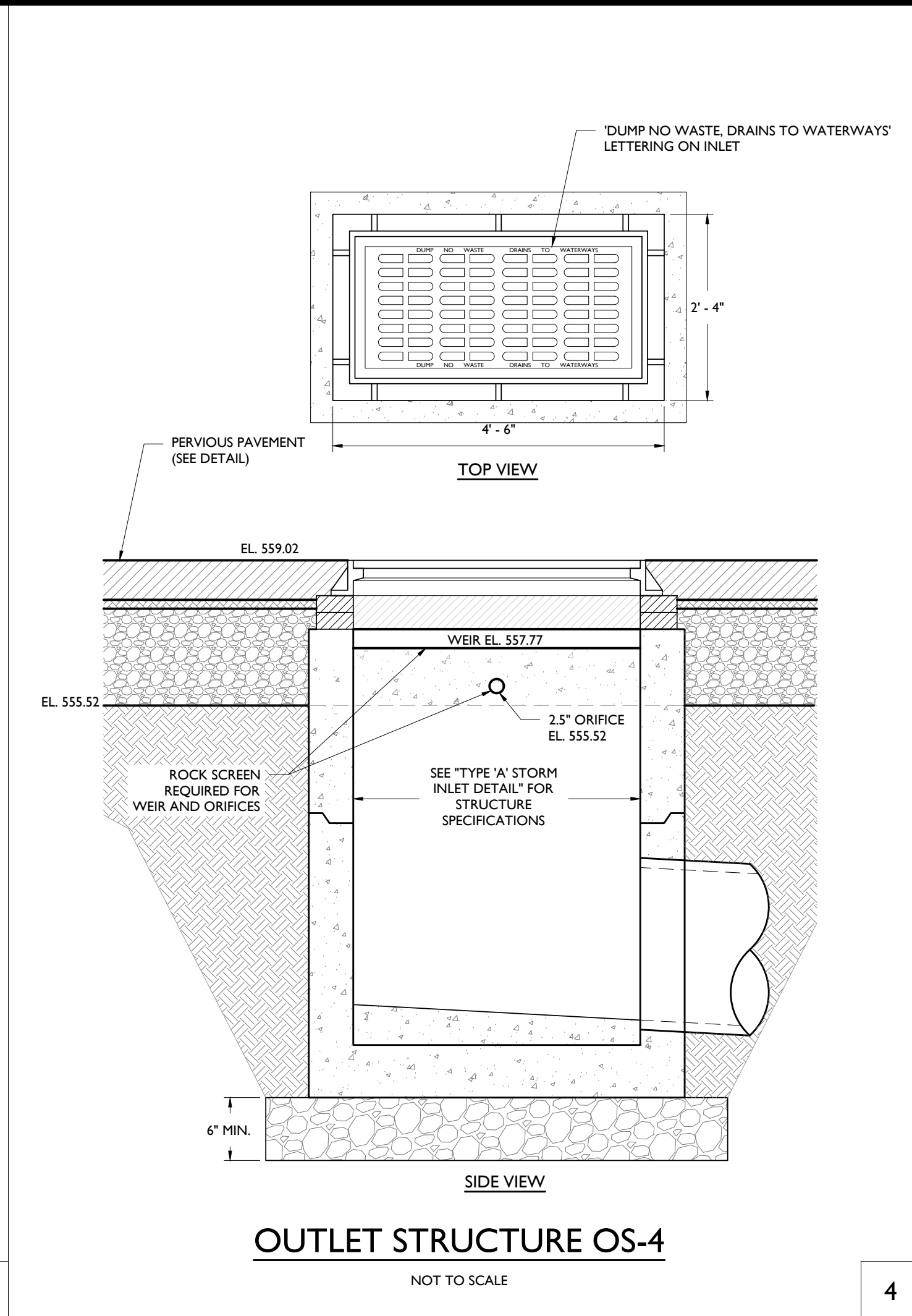
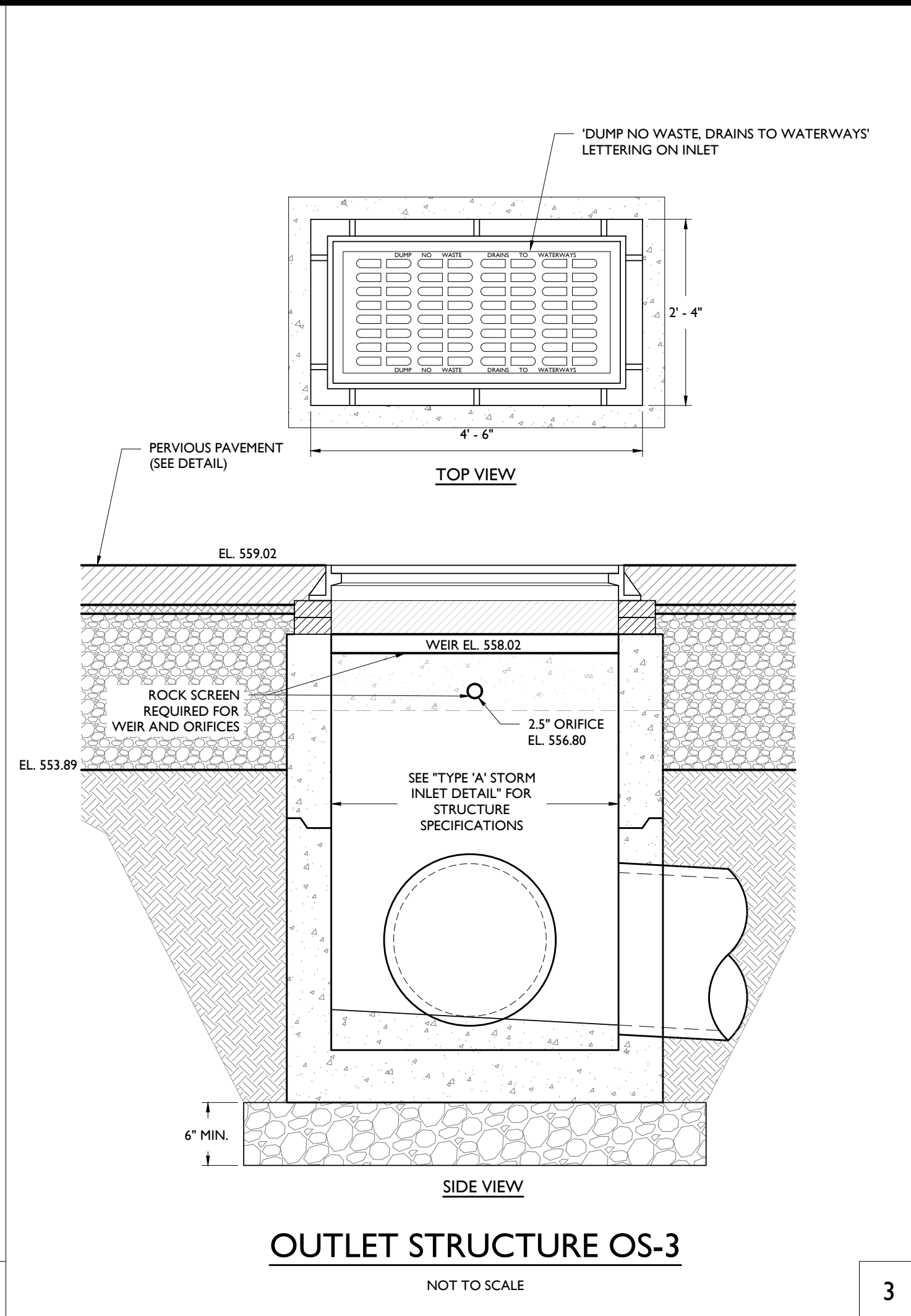
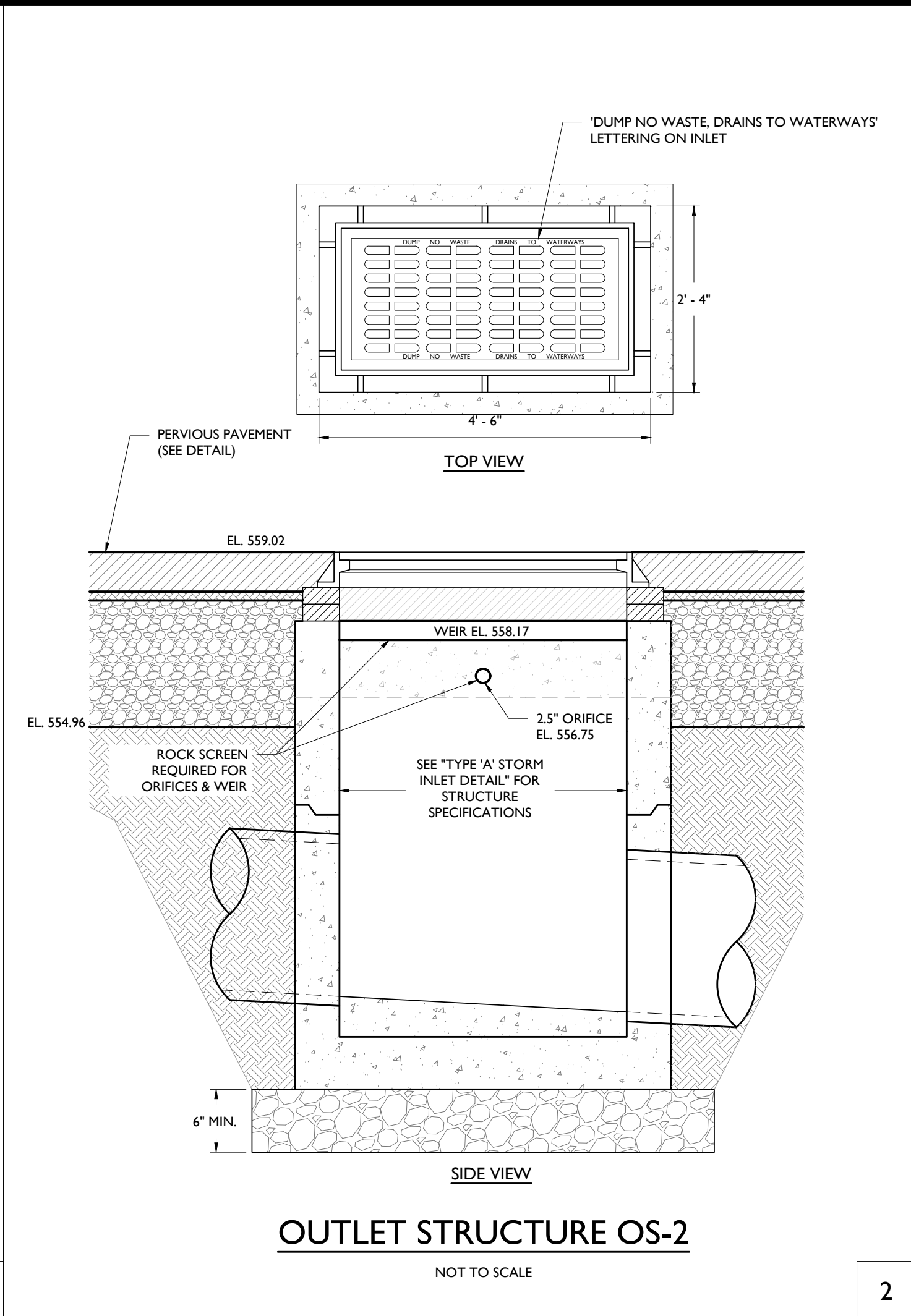
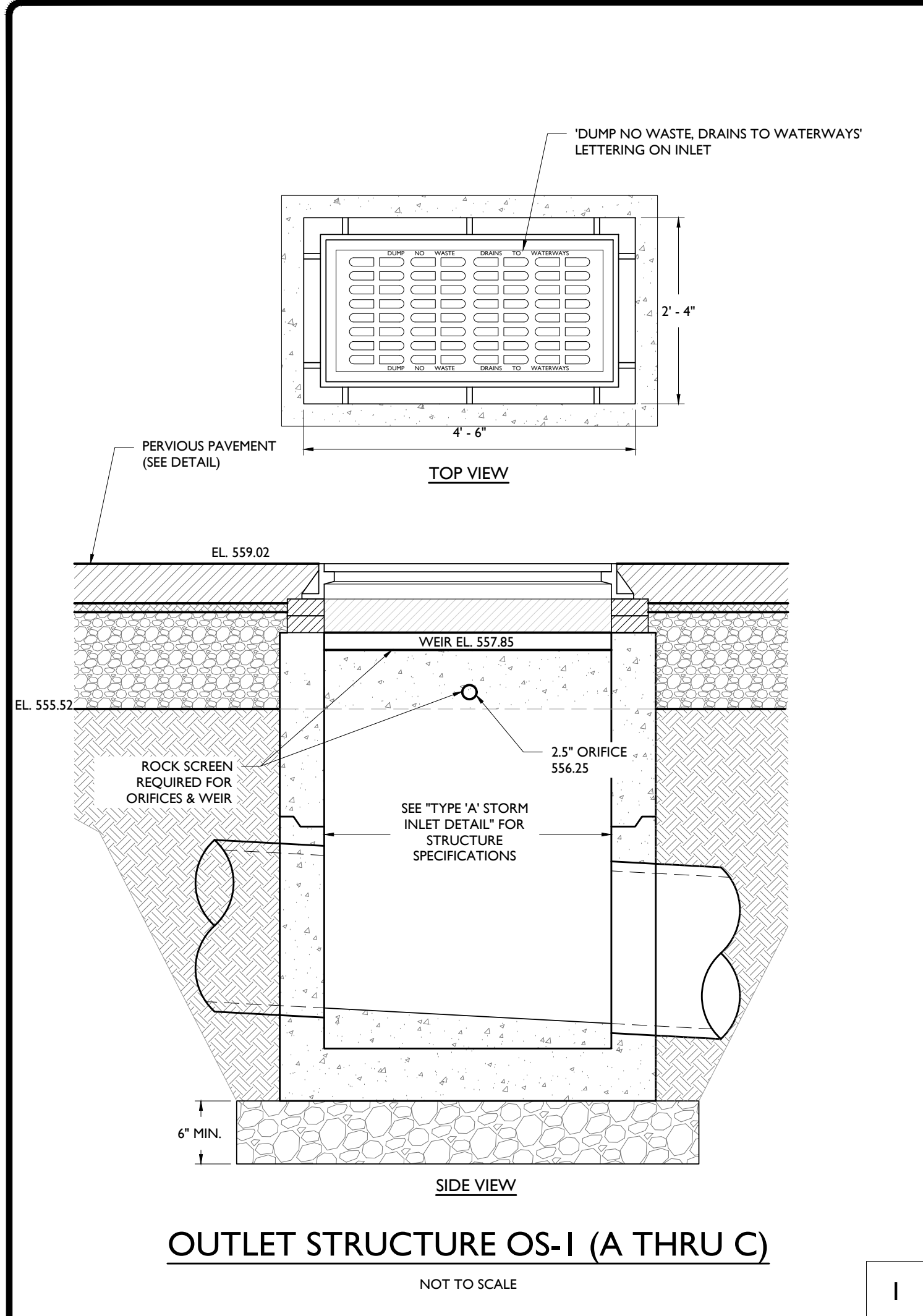
SCALE: AS SHOWN PROJECT ID: T-16195.02

TITLE:
CONSTRUCTION DETAILS

DRAWING:

C-13

T:\2016\1419502 DEUGEN DEVELOPMENT - 21 E BLACKWELL STREET - DOWR - INCORPORATION\CD\1419502.DWG



| FOR MUNICIPAL RESUBMISSION | | FOR MUNICIPAL RESUBMISSION | | FOR MUNICIPAL RESUBMISSION | | FOR INITIAL TOWN APPLICATION | | PER COUNTY COMMENTS | | PER COUNTY COMMENTS | | PER COUNTY REVIEW | | DESCRIPTION | |
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| DATE | BY | DATE | BY | DATE | BY | DATE | BY | DATE | BY | DATE | BY | DATE | BY | DATE | BY |
| 06/10/14/2024 | JMK | 01/15/2024 | BS | 12/18/2023 | BS | 11/02/2023 | JCL | 06/22/2022 | JCL | 05/04/2022 | JCL | 03/04/2022 | JCL | 00 | ISSUE |

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TOWN OF DOVER
MORRIS COUNTY, NEW JERSEY

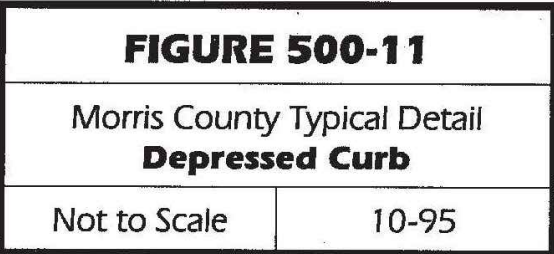
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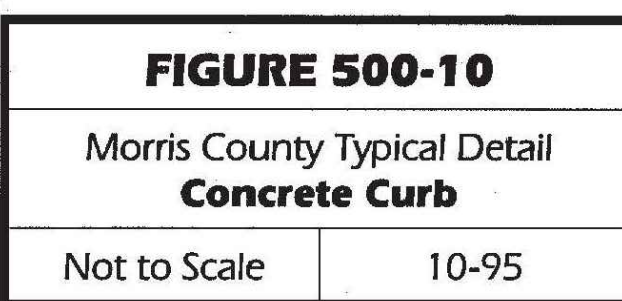
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CONSTRUCTION DETAILS

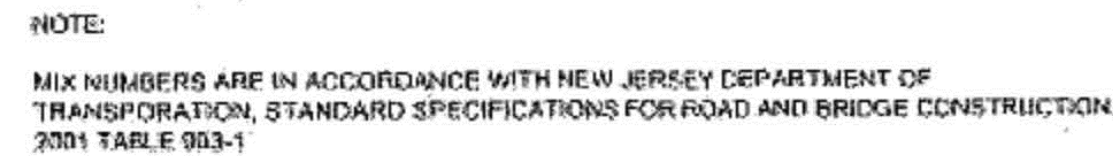
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C-14



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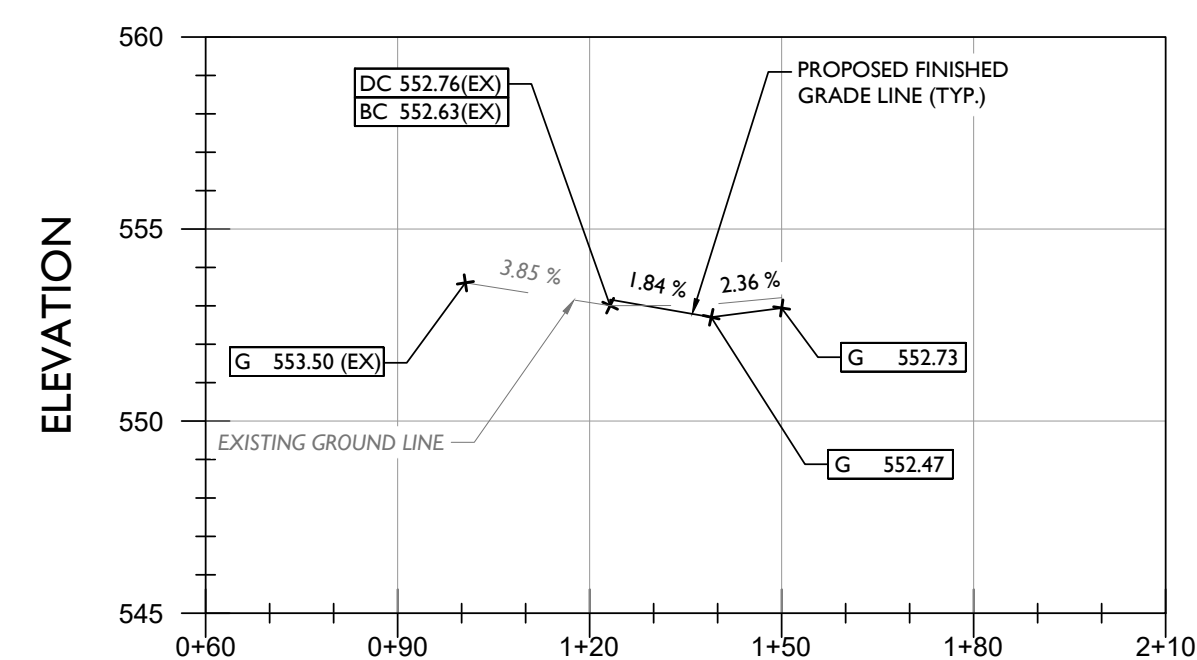
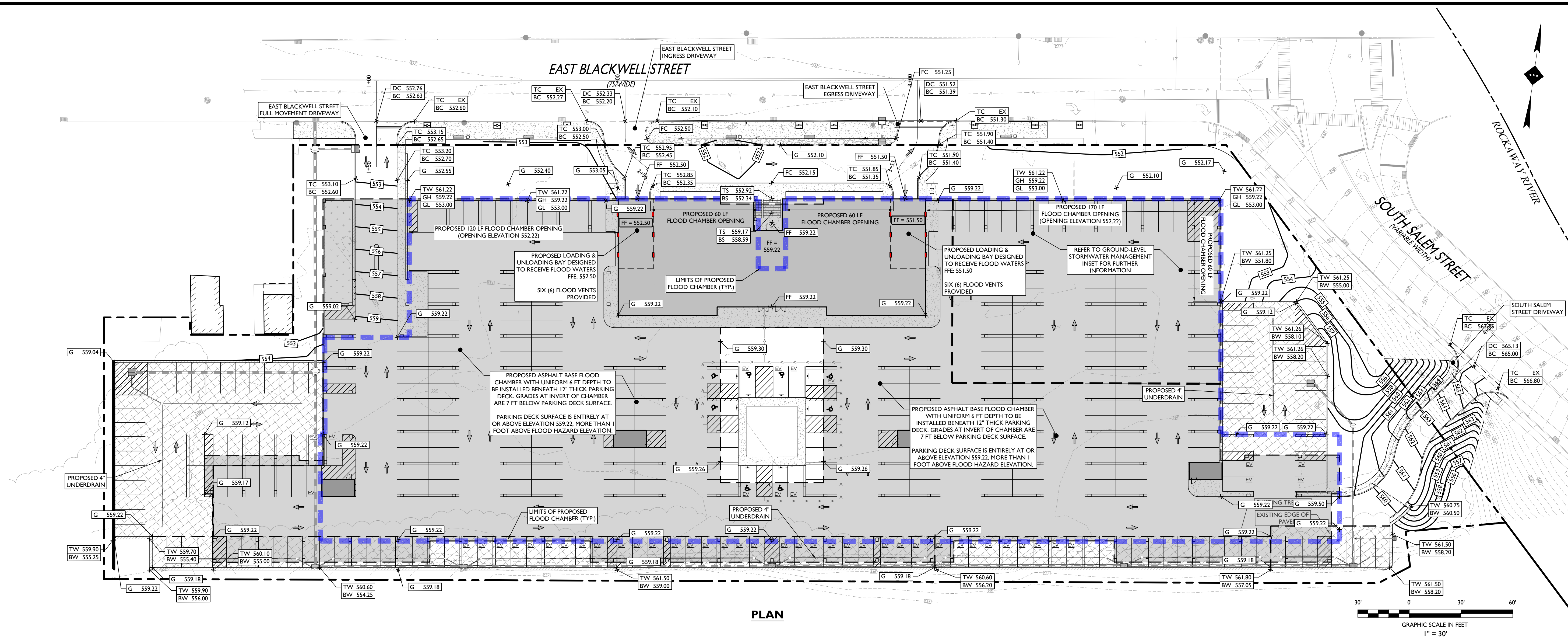
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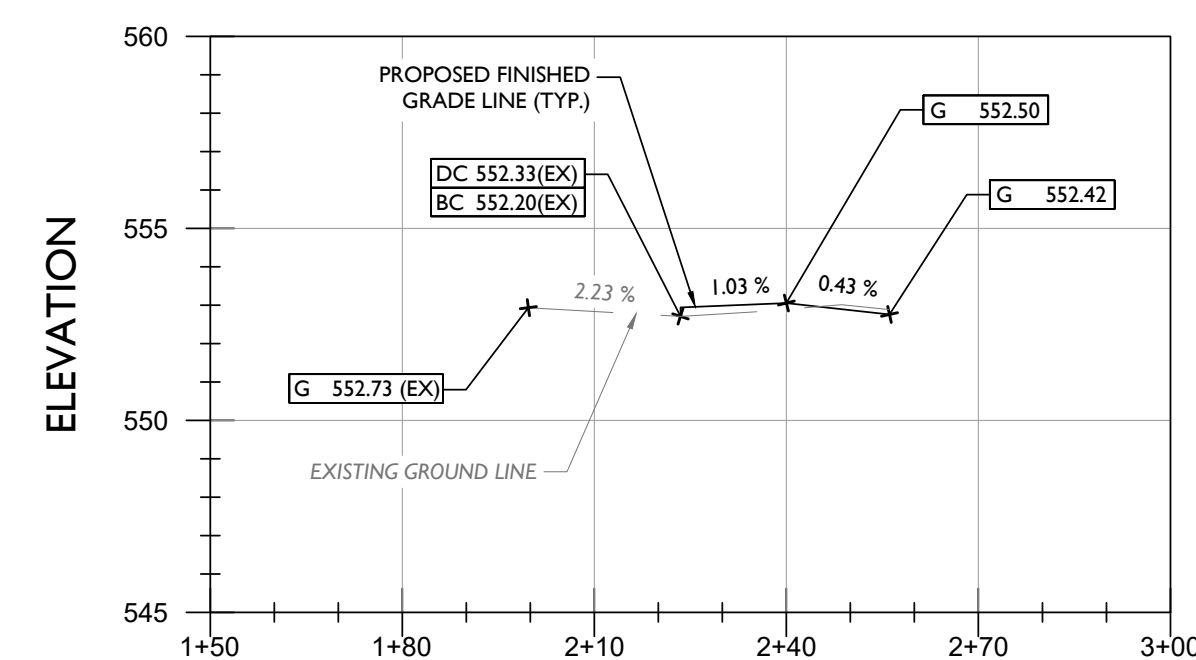
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| | |
|---|------------------------|
| JEFFREY A. MARTELL P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER | |
|  STONEFIELD engineering & design | |
| SCALE: AS SHOWN | PROJECT ID: T-16195.02 |
| TITLE: CONSTRUCTION DETAILS | |
| DRAWING: C-15 | |

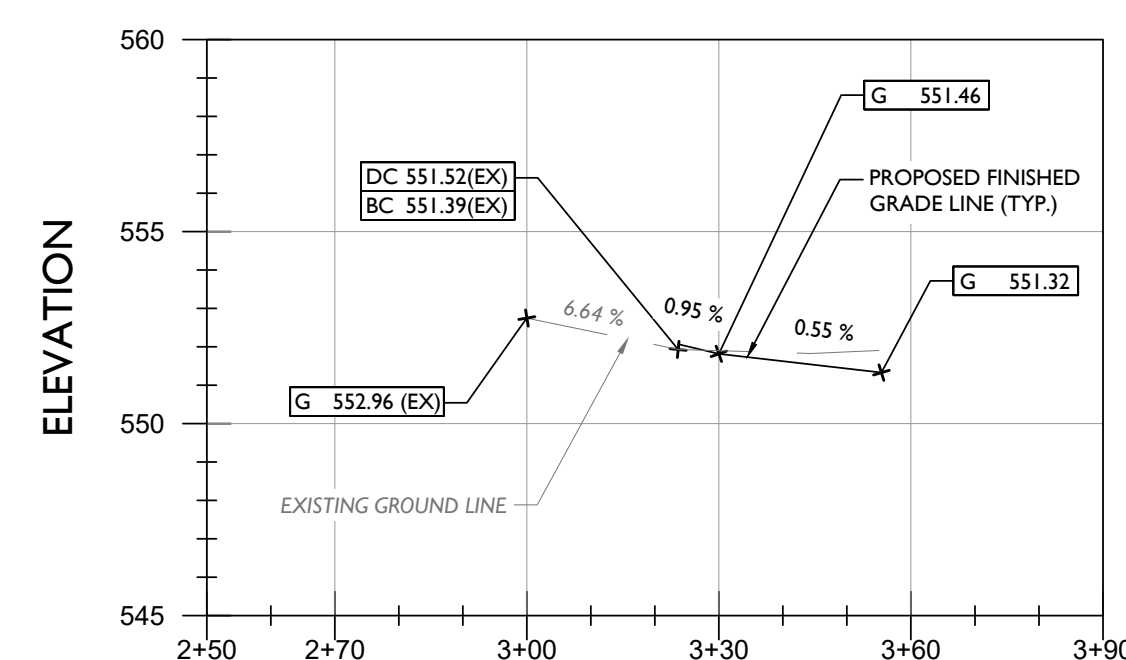
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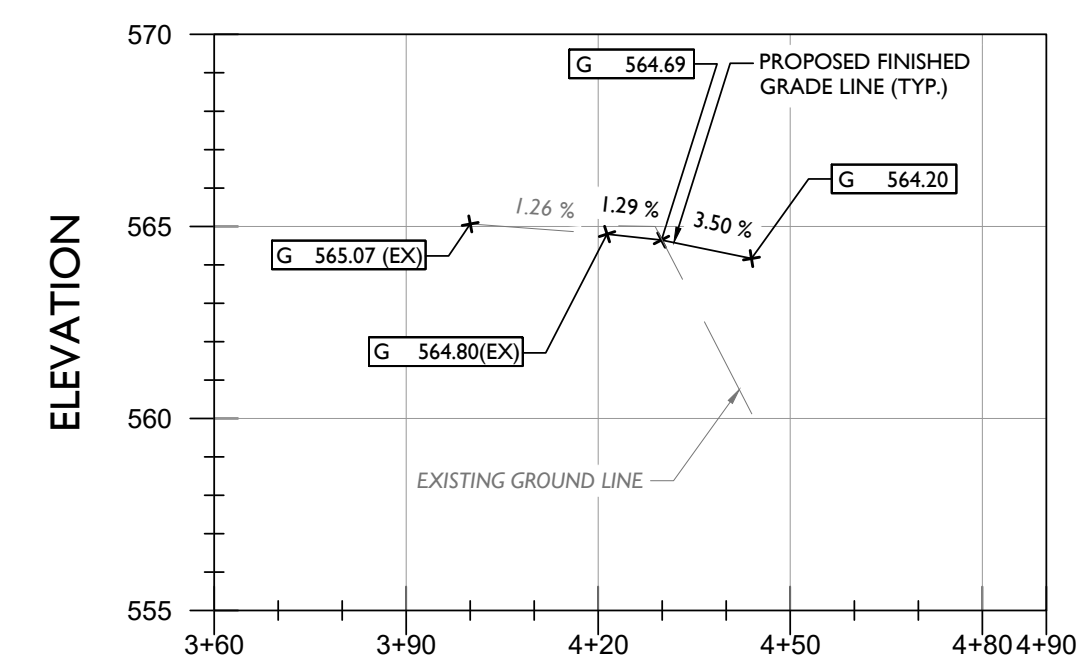
EAST BLACKWELL STREET FULL MOVEMENT DRIVEWAY



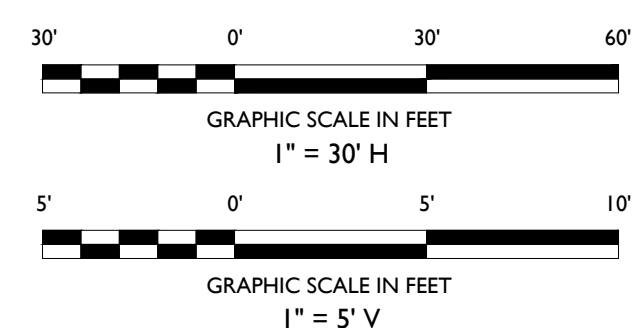
EAST BLACKWELL STREET
INGRESS DRIVEWAY



EAST BLACKWELL STREET
EGRESS DRIVEWAY



SOUTH SALEM STREET FULL MOVEMENT DRIVEWAY



| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|-----|------------------------------|
| 06 | 10/14/2024 | JMK | FOR MUNICIPAL RESUBMISSION |
| 05 | 01/15/2024 | BS | FOR MUNICIPAL RESUBMISSION |
| 04 | 12/18/2023 | BS | FOR MUNICIPAL RESUBMISSION |
| 03 | 11/03/2023 | JCL | FOR INITIAL TOWN APPLICATION |
| 02 | 06/22/2022 | JCL | PER COUNTY COMMENTS |
| 01 | 05/04/2022 | JCL | PER COUNTY COMMENTS |
| 00 | 03/04/2022 | JCL | FOR COUNTY REVIEW |



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**PROPOSED RESIDENTIAL
DEVELOPMENT**

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TOWN OF DOVER
MORRIS COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER



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| | |
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| SCALE: AS SHOWN | PROJECT ID: T-16195.02 |
|-----------------|------------------------|

TITLE:

DRIVEWAY PROFILES

DRAWING:

C-16

