

SCALE: $I'' = 2000' \pm$

PRELIMINARY & FINAL MAJOR SITE PLAN **FOR**

DEUGEN DEVELOPMENT, LLC PROPOSED RESIDENTIAL **DEVELOPMENT**

BLOCK 1902, LOTS 22-28 218 E BLACKWELL STREET TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY

RADIUS

APPLICANT

228 BLACKWELL STREET, LLC (201) 210-8622

OWNERS

LEIFKEN-DOVER REALTY COMPANY LLC ANDOVER, NJ 07821

> **SWARTZ BROTHERS INC DOVER, NJ 07801**

ATTORNEY

(856) 273-8300

LOT 1.01

LOT 1.01

LOT 10

APPROVAL BLOCK BOROUGH ENGINEER

BLOCK 1904

LOT II

EAST BLACKWELL STREET **PROJECT** SITE CONRAIL, ERIE-LACKAWANNA R.R., MORRIS & ESSEX DIV., MAIN LINE

TOWN OF DOVER 200' PROPERTY OWNERS LIST	AERIAL MA
SOURCE: GOOGLE EARTH PRO, DATED 2020	
KADIUS	

510	7	NJ TRANSIT CORP	I PENN PLAZA EAST NEWARK, NJ 07101				SCALE: I" =	I 20'±
510	8	NJ TRANSIT CORP	I PENN PLAZA EAST NEWARK, NJ 07105-2246		<i></i>	1		T
1901	10	TOWN OF DOWER	37 N SUSSEX ST	1	BLOCK	LOT	OWNER	OWNER'S ADDRESS
			DOVER, NJ 0780 I		1904	15	CIPOLLINI PETER J & ANNE	201 MENDHAM RD MORRISTOWN, NJ 07960
1902	13	BISSON MOTOR % 160 REALTY CORP	PO BOX 678 ROCKAWAY, NJ 07866		1904	16	MC GEE GEORGE/SENGA	99 HILLSIDE TERR PARSIPPANY, NI 07054
1902	15	ZARKADAS ANTHANASIA	42 CONGER ST DOVER, NJ 0780 I		1904	17	LEPRE SALVATORE & ANNA	65 RICHARDS AVE DOVER, NJ 0780 I
1902	16	HU YUSHANG	46A SAMMIS AVE			_		, i
1902	17	ESCAPE SALON & SPA	DOVER, NJ 07801 I COLLINS AVE	4	1904	18	GALLOZA CECILIA	197 E BLACKWELL ST DOVER, NJ 07801
		LLC	LAKE HOPATCONG, NJ 07849		1904	19	BOLIVAR, HECTOR D/CORNEJO, MANUEL H	151 MT HOPE AVE DOVER, NJ 07801
1902	17.01	ESCAPE SALON AND SPA LLC	I COLLINS AVE LAKE HOPATCONG, NJ 07849		1904	20	SEALS RONALD & SOPHIA % CHARLES SEALS	187 E BLACKWELL ST DOVER, NJ 0780 I
1902	19	QUIROGAS INVESTMENT LLC	18 JORDAN TERR DOVER, NJ 07801		1904	21	GUERRA JOSE A & MARIAL L	34 VAN NOSTRAND AVE DOVER, NJ 0780 I
1902	20	QUIROGAS INVESTMENT LLC	18 JORDAN TERR DOVER, NJ 07801		1904	22.01	BIG PROPERTY LLC	171 E BLACKWELL DOVER, NJ 07801
1902	21	WNJ REALTY LLC	19 QUAIL RUN		1004	1		
1902	21	WNI REALTY LLC	RANDOLPH, NJ 07869 19 QUAIL RUN	4	1904	24	165 E BLACKWELL LLC	80 PEQUANNOCK ST RANDOLPH, NJ 07869
1702	21	(UNIT BOI)	RANDOLPH, NJ 07869		1904	30	UNKNOWN	UNKNOWN
1904	9	RICO PROPERTIES	263 E BLACKWELL ST	1	2201	I	UNKNOWN	UNKNOWN
1904	9.01	BLACKWELL PRINT	DOVER, NJ 07801 241 E BLACKWELL ST		2201	2	VULCAN INVESTMENTS LLC	5 FRANKLIN PL MORRISTOWN, NJ 07960
1004	ļ.,	SHOP LLC	DOVER, NJ 07801	4	2201	4	VASQUEZ REINALDO	246 E BLACKWELL ST DOVER, NJ 07801
1904	11	HOUSING AUTHORITY OF DOVER	215 E BLACKWELL ST NEWARK, NJ 07801		2201	5	HAMM DAWN	44 ROSE WAY RANDOLPH NJ 07869-1533
1904	12	JAKOBER LAMBERT A	158 SPRINGBROOK TRAIL SPARTA, NJ 0787 I		2201	6	SHANTIVAN MANAGEMENT LLC	263 E BLACKWELL ST DOVER, NJ 0780 I
1904	13	VITLO INC	211 E BLACKWELL ST DOVER, NJ 07801		2201	8	UNKNOWN	UNKNOWN
1904	14	CIPOLLINI PETER J &	201 MENDHAM RD MORRISTOWN, NI 07960		2203	I	DOT OF NJ	1035 PARKWAY AVE - POB 6 TRENTON, NJ 08625-0616

MORRISTOWN, NJ 07960

PLANS PREPARED BY: STONEFIELD engineering & design Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefieldeng.com 15 Spring Street, Princeton, NJ 08542

Phone 609.362.6900

ZONING BOUNDARY (TYP. EAST BLACKWELL STREET 24 | PROJECT BLOCK 1902 **LOT 23** BLOCK 510 CONRAIL, ERIE-LACKAWANNA R.R., MORRIS & ESSEX DIV., MAIN LINE ZONE IND LOT 8 LOT 10 **BLOCK 1901 ZONE R-IS** 200 FT LOT 3

SOURCE: MORRIS COUNTY GIS, TOWN OF DOVER TAX MAP SHEETS 19 & 22, DATED SEPTEMBER 2008 TAX / ZONING / OTHER MAP

SCALE: I" = 120'±

PLAN REFERENCE MATERIALS:

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS **INCLUDING, BUT NOT LIMITED TO:** ATLA / NSPS LAND TITLE SURVEY PREPARED BY
 - STONEFIELD ENGINEERING & DESIGN LLC, DATED
 - ARCHITECTURAL PLANS PREPARED BY ARCHITECTURA, **DATED JULY 21, 2021**
 - GEOTECHNICAL REPORT PREPARED BY WHITESTONE
 - **ASSOCIATES, INC, DATED MAY 7, 2021 AERIAL MAP FROM GOOGLE EARTH PRO, DATED 2020** LOCATION MAP FROM USGS 7.5 MINUTE DOVER
- 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND

REVIEW IT THOROUGHLY PRIOR TO THE START OF

QUADRANGLE NEW JERSEY, DATED 2019

CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET#
COVER SHEET	C-I
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
UTILITY PLAN	C-6
SOIL EROSION & SEDIMENT CONTROL PLAN	C-7 - 8
LANDSCAPING PLAN AND DETAILS	C-9 - 10
LIGHTING PLAN	C-11
CONSTRUCTION DETAILS	C-12 - 15
DRIVEWAY PROFILES	C-16
DRIVEWAY CROSS SECTIONS	C-17

	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR INITIAL TOWN APPLICATION	PER COUNTY COMMENTS	PER COUNTY COMMENTS	FOR COUNTY REVIEW	DESCRIPTION	
	JМК	BS	BS	JCL	JCL	JCL	JCL	ВҮ	
	10/14/2024	01/15/2024	12/18/2023	11/03/2023	06/22/2022	05/04/2022	03/04/2022	DATE	
	90	90	94	03	02	10	00	ISSUE	

DEUGEN DEVELOPMENT,

JEFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-16195.02

COVER SHEET

DRAWING:

C-I

BLOCK LOT

AREA NOTES TOTAL LAND AREA TOTAL AREA = 171,169 SQUARE FEET OR 3.929 ACRES EXISTING STRIPED PARKING REGULAR = 17 SPACES HANDICAP = 0 FLOOD NOTE BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE AE, (SHADED), (SPECIAL FLOOD HAZARD AREA INUNDATED BY100-YEAR FLOOD - WITH BASE FLOOD ELEVATION) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 340340 0001D WHICH BEARS AN EFFECTIVE DATE OF JULY 7 1989. - NO DIGITAL DATA AVAILABLE FOR AREA **SURVEY NOTES:** I. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SURVEY REFERENCES

- I. DEED BETWEEN NORMAN I., SWARTZ AND MARGARET E, SWARTZ, HIS WIFE, AND HERBERT C. SWARTZ AND ELEANOR A. SWARTZ, HIS WIFE (GRANTOR) AND SWARTZ BROTHERS INC. (GRANTEE), DATED AUGUST 24, 1956 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK Z61 PAGE 314.
- 2. DEED BETWEEN HARRY W. HOUCK AND MAUD HOUCK, HIS WIFE (GRANTOR) AND SWARTZ BROTHERS INC (GRANTEE), DATED SEPTEMBER 15, 1965 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK 1958 PAGE 978.
- DEED BETWEEN BARJIM REALTY II, LLC (GRANTOR) AND LEIFKEN-DOVER REALTY CO., LLC (GRANTEE), DATED DECEMBER I, 1998 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK 4895 PAGE 125.
- 4. DEED BETWEEN KELLY LEIFKEN (GRANTOR) AND LEIFKEN-DOVER REALTY COMPANY, LLC (GRANTEE), DATED MAY 7, 2004 AND FILED IN THE MORRIS COUNTY CLERKS OFFICE AS DEED BOOK 6067 PAGE 125.
- 5. TAX MAP OF THE TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY SHEET 19, DATED
- 6. TITLE COMMITMENT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, ISSUING OFFICE FILING NUMBER 21-0000503NCS COMMITMENT DATE APRIL 8, 2021.
- 7. TITLE COMMITMENT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, ISSUING OFFICE FILING NUMBER 21-0000504NCS COMMITMENT DATE APRIL 8, 2021.

SURVEY NOTES

- 1. THE ADDRESS FOR THIS PROPERTY IS 218 E. BLACKWELL STREET, DOVER, NEW JERSEY.
- 2. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING JUNE 16, 2021 BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE.
- 3. THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR EMBOSSED SEAL IS AFFIXED HERETO.
- 4. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. 5. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND
- ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION, ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- 6. BEARINGS ARE REFERENCED TO THE NJ STATE PLANE COORDINATE SYSTEM, NAD 83 (2011). ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
- 7. THE PROPERTY CURRENTLY HAS ACCESS TO EAST BLACKWELL STREET.
- 8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1(D)
- 9. BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.
- 10. BENCHMARK = MAG NAIL = 554.27' (NAVD88). BENCHMARK = MAG NAIL = 551.50' (NAVD88). BENCHMARK = MAG NAIL = 554.54' (NAVD88). BENCHMARK = MAG NAIL = 553.56' (NAVD88). BENCHMARK = MAG NAIL = 554.27' (NAVD88).

	BUILDING
	CONCRETE SIDEWALK
	ASPHALT / CONCRETE
D.C	DEPRESSED CURB
	PROPERTY LINE
	ADJACENT PROPERTY
	CHAIN LINK FENCE
-0	BOARD-ON-BOARD FE
-0 0	GUIDE RAIL
	MAST ARM LIGHT POLI
-	POLE
*	LIGHT POLE
- 0	SIGNS
WV X	WATER VALVE
GV ⊠	GAS VALVE
₩	FIRE HYDRANT
	DRAIN
	INLET
	MAN HOLE
•	BOLLARDS
MW _O	MONITORING WELL
<u>E.P.</u>	EDGE OF PAVEMENT
OH	OVERHEAD WIRE
	UNDERGROUND GAS

DESCRIPTION

SYMBOL

× 100.00

→ TC 100.50

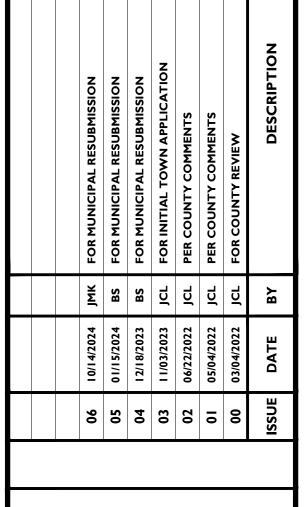
× BC 100.00

o TW 102.00

imes BW 100.00

SYMBOL

DESCRIPTION UNDERGROUND WATER LINE MAJOR CONTOUR MINOR CONTOUR **GRADE SPOT SHOT** TOP OF CURB SHOT BOTTOM OF CURB SHOT TOP OF WALL SHOT BOTTOM OF WALL SHOT LANDSCAPING ELEC METER GAS METER IRON PIN BENCH MARK DETECTABLE WARNING STRIP







DEUGEN DEVELOPMENT PROPOSED RESIDENTIAL DEVELOPMENT

JEFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER

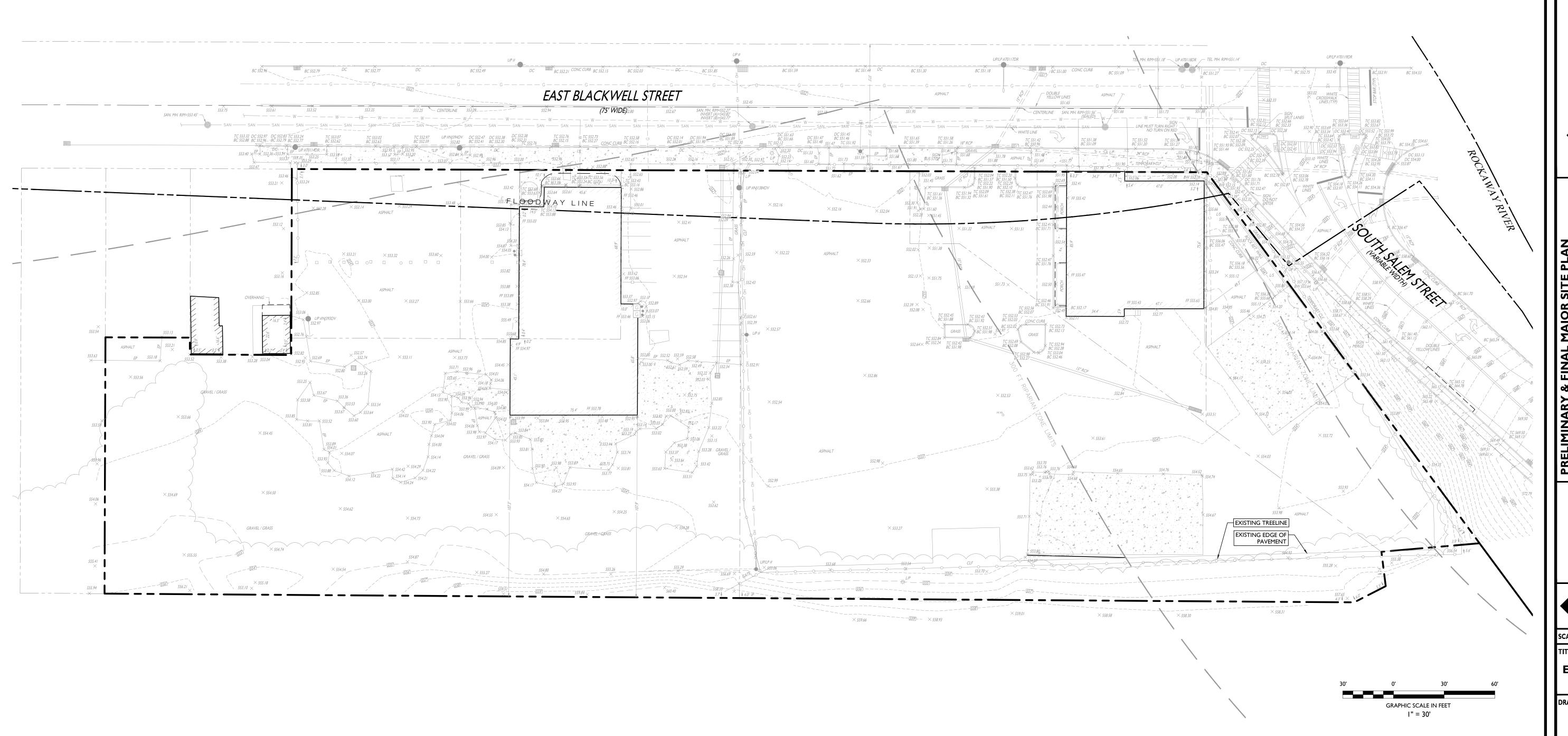
STONEFIELD engineering & design

I" = 30' PROJECT ID: T-16195.02

EXISTING CONDITIONS PLAN

DRAWING:

C-2





- I. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

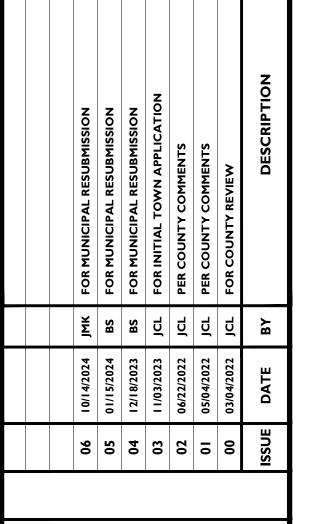
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS





Know what's **below Call** before you dig.







DEUGEN DEVELOPMENT

PROPOSED RESIDENTIAL DEVELOPMENT

JEFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER

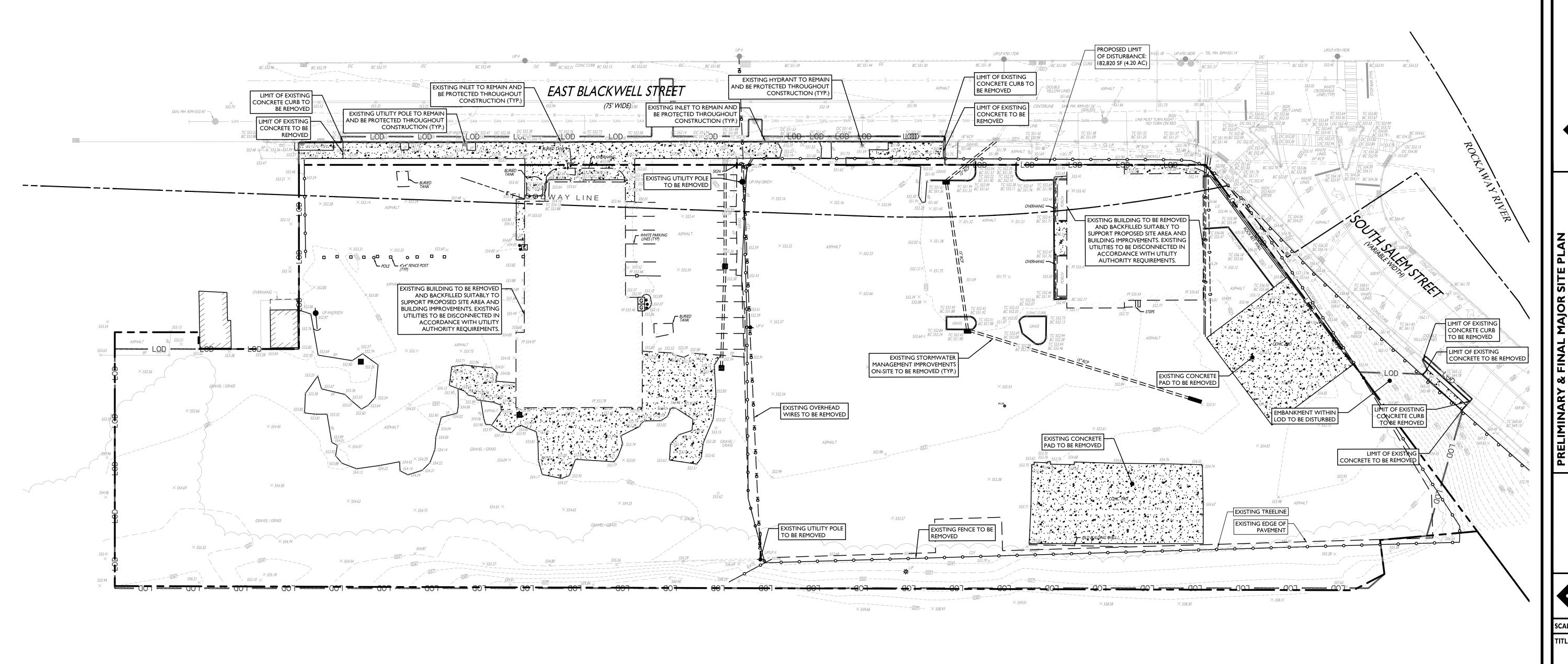


I" = 30' PROJECT ID: T-16195.02

DEMOLITION PLAN

DRAWING:

GRAPHIC SCALE IN FEET I" = 30'



LAND USE AND ZONING							
	BLOCK 1902, LOT 22-28						
SCATTERED SITE I	SCATTERED SITE REDEVELOPMENT PLAN AREA PARCEL (SSRPA)						
PROPOSED USE							
MULTI-FAMILY RESIDENTIAL	PERMITTED PRINCIPA	AL USE					
PARKING	PERMITTED ACCESSORY USE						
APARTMENT COMMON AREAS	PERMITTED ACCESSORY USE						
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED				
MINIMUM LOT AREA	N/A	174,669 SF (4.01 AC)	174,669 SF (4.01 AC)				
MINIMUM LOT WIDTH	N/A	N/A	N/A				
MINIMUM LOT DEPTH	N/A	N/A	N/A				
MAXIMUM IMPERVIOUS COVERAGE	85%	71.45%	83.77%				
MAXIMUM BUILDING COVERAGE	70%	8.80% (15,369 SF)	62.99% (111,032 SF)				
MAXIMUM BUILDING HEIGHT	5 STORIES, 65 FT	2 STORIES	5 STORIES, 64.0 FT				
MAXIMUM FRONT YARD SETBACK	35 FT	0 FT (EN)	31.26 FT				
MINIMUM SIDE YARD SETBACK	5 FT	107.5 FT	5.0 FT				
MINIMUM REAR YARD SETBACK	5.0 FT	107.3 FT	5.0 FT				

OFF-STREET PARKING REQUIREMENTS					
CODE SECTION	REQUIRED	PROPOSED			
REDEVELOPMENT PLAN - SUB-AREA 3 D.	I SPACE PER UNIT	260 UNITS 332 PARKING SPACE 1.28 SPACES PER UNIT			
REDEVELOPMENT PLAN - SUB-AREA 3 D.	SURFACE LEVEL AND INTERIOR PARKING SETBACK: 5 FT	5 FT			
REDEVELOPMENT PLAN - SUB-AREA 3 D.	90 DEGREE PARKING MIN. DIMENSIONS: 8.5 FT X 18 FT	8.5 FT X 18 FT			
REDEVELOPMENT PLAN - SUB-AREA 3 D.	DRIVE AISLE MIN. WIDTH: 22 FT	22.5 FT			
STATEWIDE ELECTRIC VEHICLE ORDINANCE	PREPARE AS MAKE-READY PARKING SPACES AT LEAST 15 PERCENT OF THE REQUIRED OFF-STREET PARKING SPACES, AND INSTALL EVSE IN AT LEAST ONE-THIRD OF THE 15 PERCENT OF MAKE-READY PARKING SPACES	50 EV MAKE-READY SPACES PROPOSED			
	332 PARKING SPACES * 15% = 50 EV SPACES				

PROPOSED 12" STOP BAR

GENERAL NOTES

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD
- ENGINEERING & DESIGN, LLC. 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF
- 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.

THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE

OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE

- NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED
- WITHIN THE PLAN SET. 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- II. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES. 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT
- ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

PROPOSED 'DO NOT -ENTER' SIGN (R5-1)

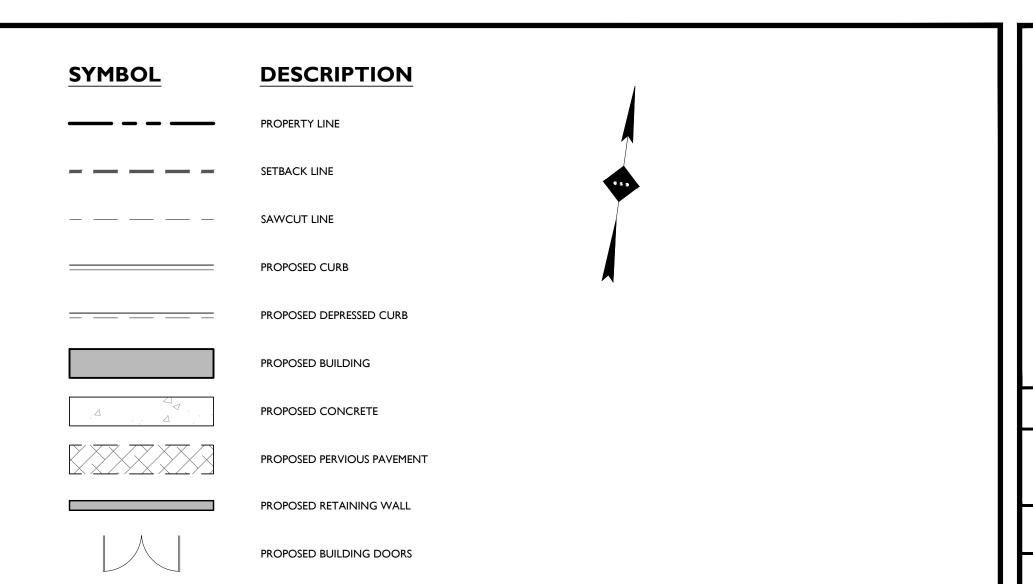
PROPOSED RELOCATION OF EXISTING

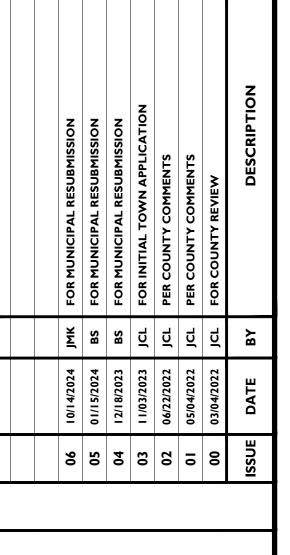
LOCATION TO BE CONFIRMED PRIOR

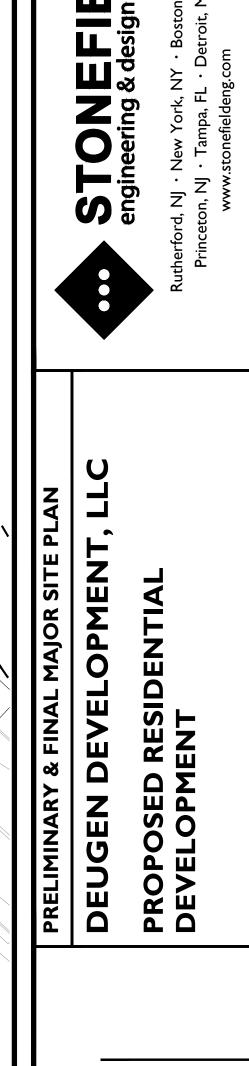
NJ TRANSIT BUS STOP SIGN (FINAL

PROPOSED 300' SIGHT DISTANCE TRIANGLE PER

MORRIS COUNTY STANDARDS







JEFFREY A. MARTELL, P.E.

NEW JERSEY LICENSE No. 47290

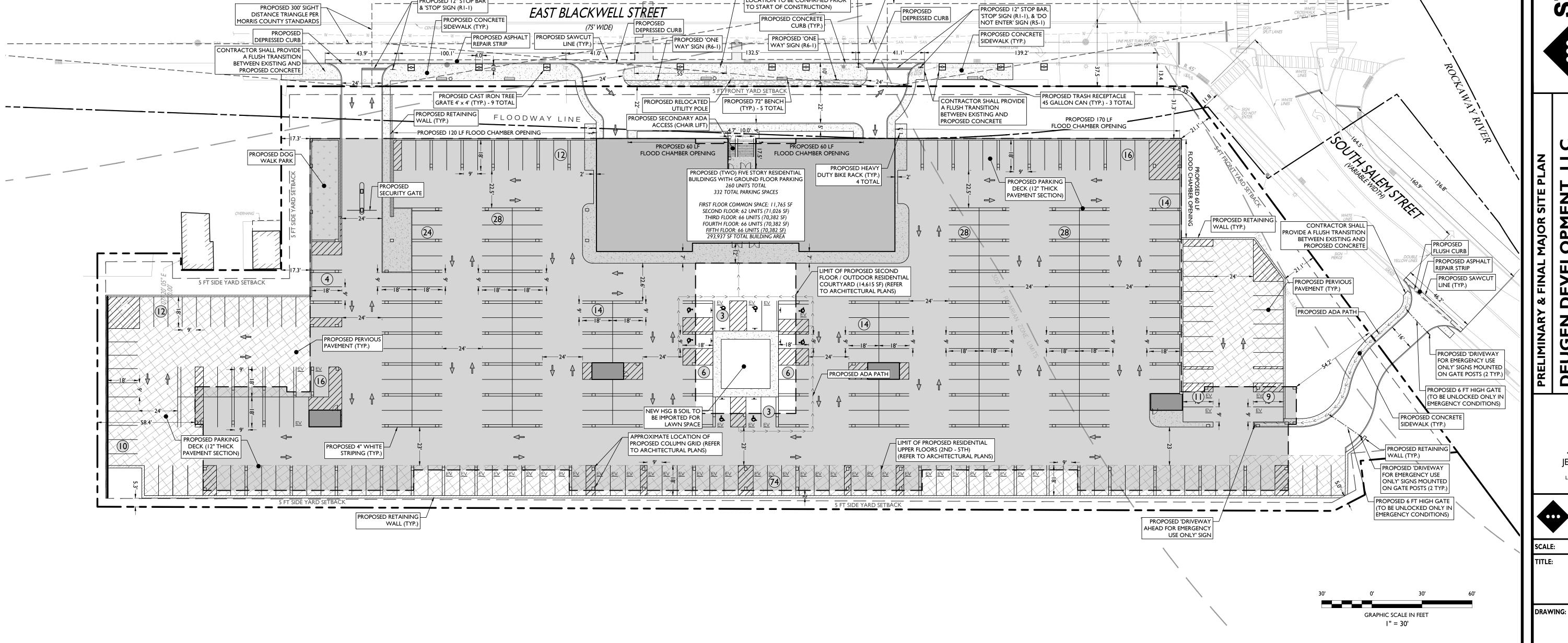
LICENSED PROFESSIONAL ENGINEER

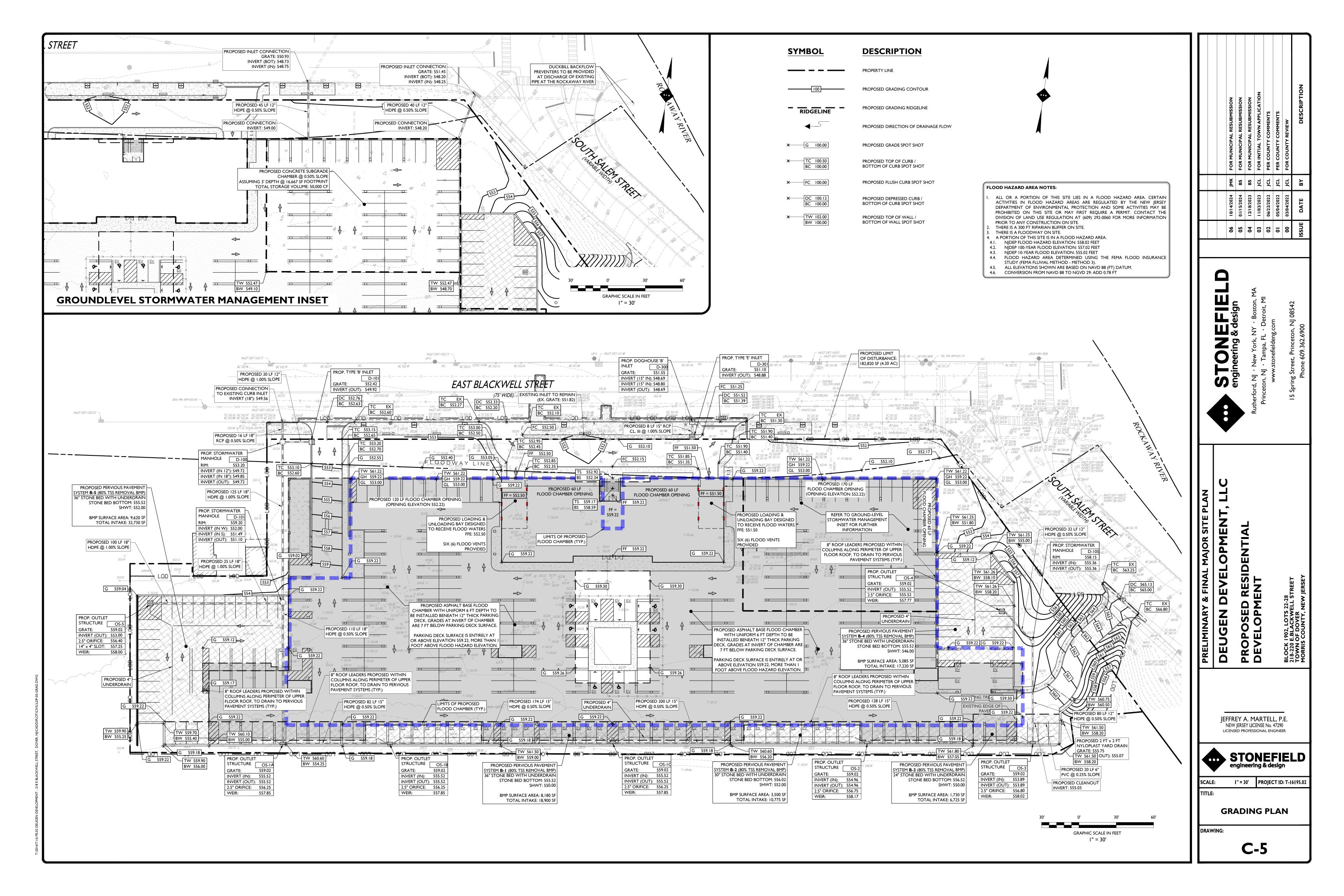
STONEFIELD

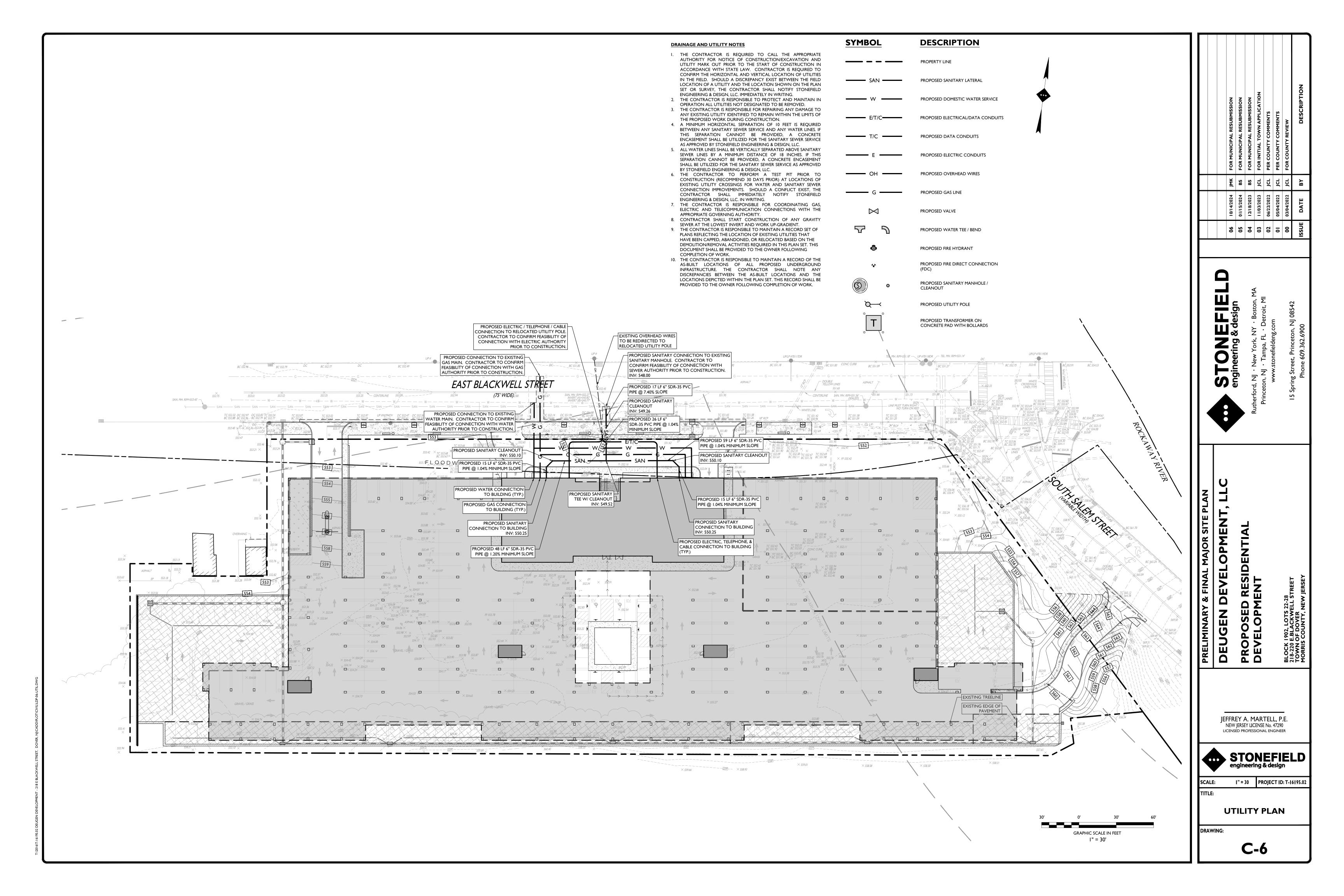
I" = 30' PROJECT ID: T-16195.02

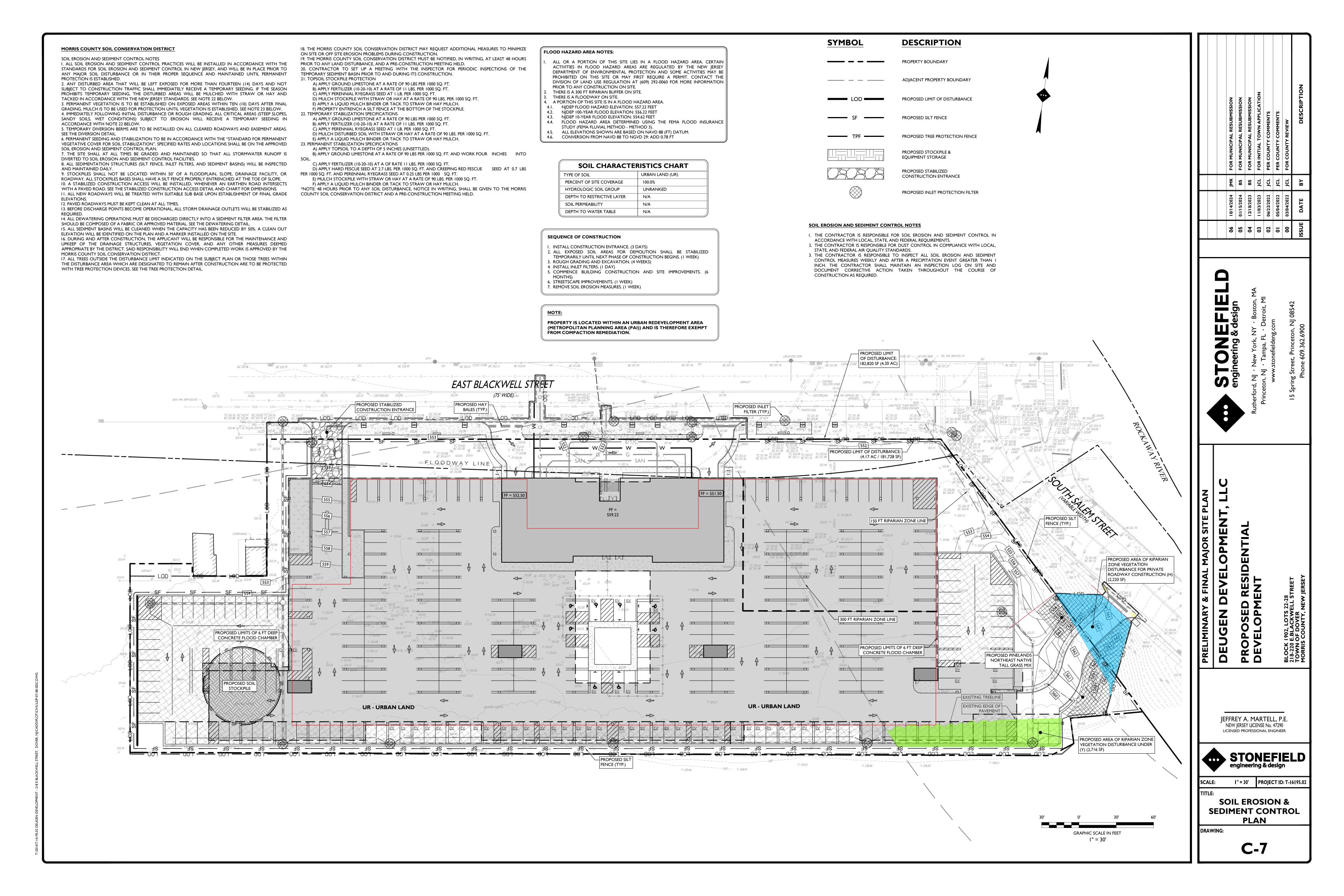
engineering & design

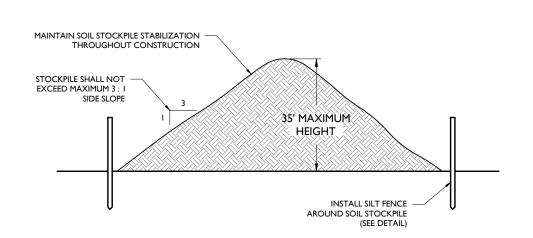
SITE PLAN









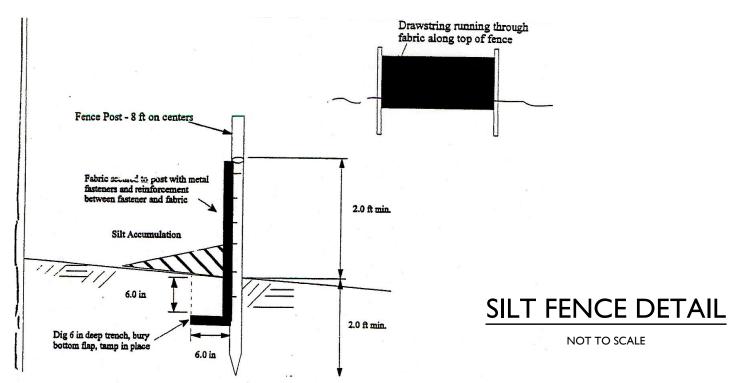


NOTES:

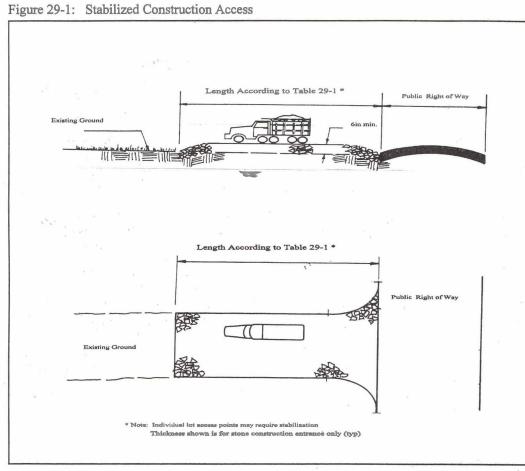
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.

2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL NOT TO SCALE



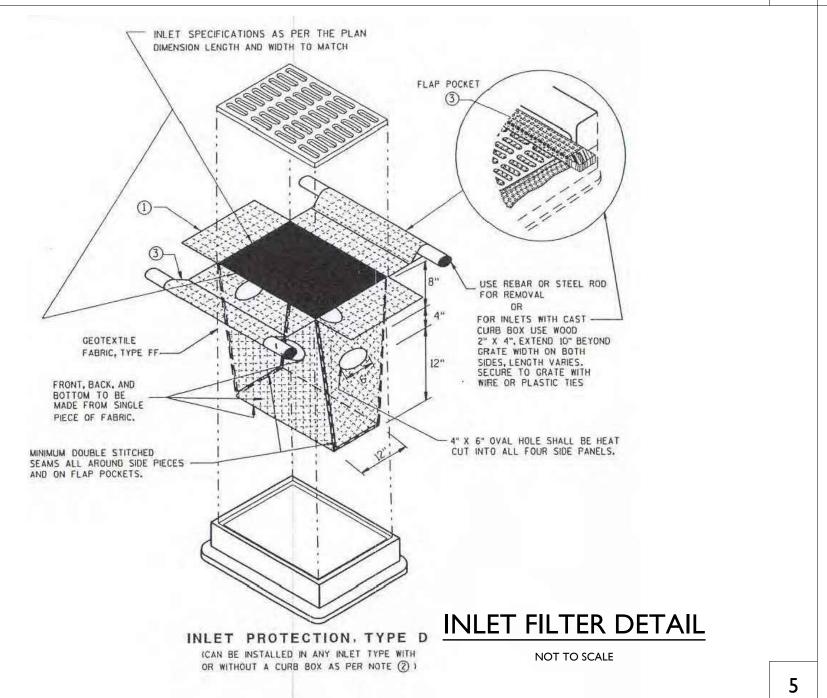
- 1. Fence posts shall be spaced 8 feet center-to-center or closer. They shall extend at least 2 feet into the ground and extend at least 2 feet above ground (Fig. 25-2). Posts shall be constructed of hardwood with a minimum diameter thickness of 1 1/2 inches.
- A metal fence with 6 inch or smaller openings and at least 2 feet high may be utilized.
 fastened to the fence posts, to provide reinforcement and support to the geotextile fabric where space for other practices is limited and heavy sediment loading is
- 3. A geotextile fabric, recommended for such use by the manufacturer, shall be buried at least 6 inches deep in the ground. The fabric shall extend at least 2 feet above the ground. The fabric must be securely fastened to the posts using a system consisting of metal fasteners (nails or staples) and a high strength reinforcement material (nylon webbing, grommets, washers etc.) placed between the fastener and the geotextile fabric. The fastening system shall resist tearing away from the post. The fabric shall incorporate a drawstring in the top portion of the fence for added strength.

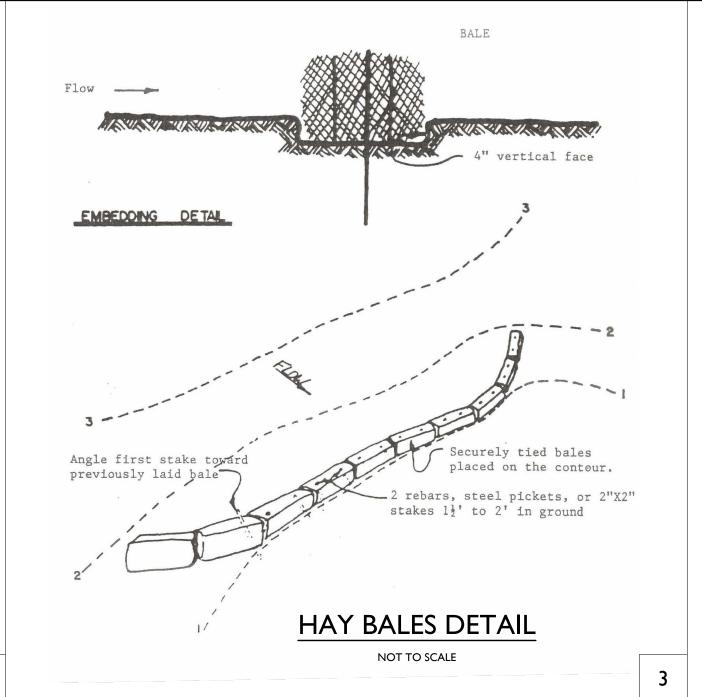


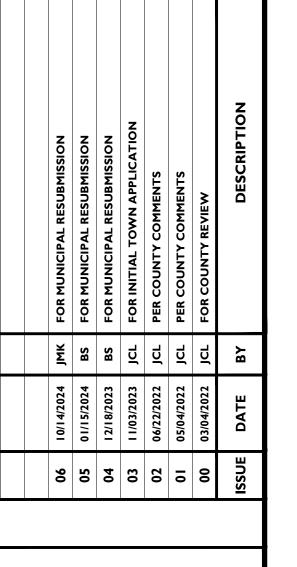
Percent Slope	Length of Stone Required			
of Roadway	Coarse Grained Soils	Fine Grained Soils		
0 to 2%	50 ft	100 ft		
2 to 5%	100 ft	200 ft		
>5%	Entire surface stabilized	with FABC base course		

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE









DEUGEN DEVELOPMENT, PROPOSED RESIDENTIAL DEVELOPMENT

JEFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-16195.02

SOIL EROSION & SEDIMENT CONTROL

DETAILS DRAWING:

C-8

Requirements for Silt Fence:

			PLANT SCI	HEDULE		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
			DECIDUOU	S TREES		
	ACE	6	ACER SACCHARUM	SUGAR MAPLE	2" - 2.5" CAL	B&B
(+)	GIN	3	GINKGO BILOBA `PRINCETON SENTRY`	PRINCETON SENTRY MAIDENHAIR TREE	2" - 2.5" CAL	B&B
+	LIQ	2	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2" - 2.5" CAL	B&B
+	QBI	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2" - 2.5" CAL	B&B
	QPH	5	QUERCUS PHELLOS	WILLOW OAK	2" - 2.5" CAL	B&B
X	TIL	4	TILIA CORDATA	LITTLELEAF LINDEN	2" - 2.5" CAL	B&B
			EVERGREEN	N TREES		
2) + 4 + 4	ILE	12	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5` - 6` HT	B&B
E. 13	JUN	9	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	6` - 7` HT	B&B
	JSG	226	JUNIPERUS VIRGINIANA 'J.N. SELECT GREEN' TM	EMERALD FEATHER EASTERN REDCEDAR	5` - 6` HT	B&B
	THU	12	THUJA X `GREEN GIANT`	GREEN GIANT ARBORVITAE	6` - 7` HT	B&B

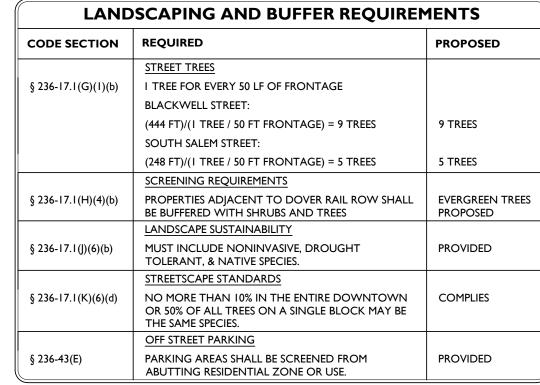
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

			PLANT SCHEDULE (CONTINUED		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
			SHRUBS			
	CLE	5	CLETHRA ALNIFOLIA `RUBY SPICE`	RUBY SPICE CLETHRA	24" - 30"	POT
+	HME	2	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BAILMER HYDRANGEA	24" - 30"	POT
(+)	HPL	12	HYDRANGEA PANICULATA `LIMELIGHT`	LIMELIGHT HYDRANGEA	24" - 30"	POT
₹ }	HQU	15	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24" - 30"	POT
	PHY	23	PHYSOCARPUS OPULIFOLIUS	NINEBARK	24" - 30"	POT
(+)	VIB	6	VIBURNUM DENTATUM	VIBURNUM	18" - 24"	POT
		•	EVERGREEN SHR	UBS		
(+)	ICO	101	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT
		•	GRASSES			
MANANA CONTRACTOR OF THE PROPERTY OF THE PROPE	CAL	26	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL.	POT
- Julan			GRASSES		·	•
	CAR	78	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	I GAL.	POT, 18" O.C.
	ERA	162	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	I GAL.	POT, 36" O.C.
4			PERENNIALS			
	RUD	434	RUDBECKIA LACINIATA	CUTLEAF CONEFLOWER	I GAL.	POT, 18" O.C.

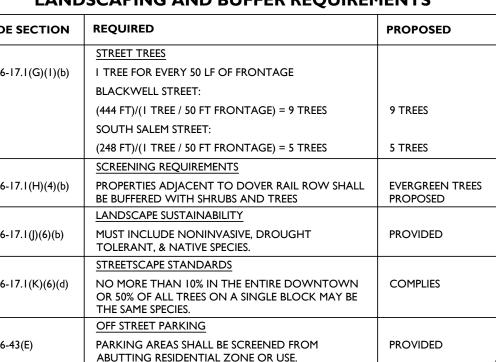
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

PINELANDS NURSERY AND SUPPLY NORTHEAST NATIVE TALL GRASS (#7XMIXNATIVEVEG):

NO	RIHEASI NATIVE TAL	L GRASS (#ZXMIXN	AIIVEVEG
	ANDROPOGON GERARDII ELYMUS VIRGINICUS PANICUM VIRGATUM TRIDENS FLAVUS	BIG BLUESTEM VIRGINIA WILD RYE SWITCHGRASS PURPLETOP	22% 23% 26% 29%
	1. SOW ABOVE MIX AT A RATE	OF 15 LBS./ACRE	







CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

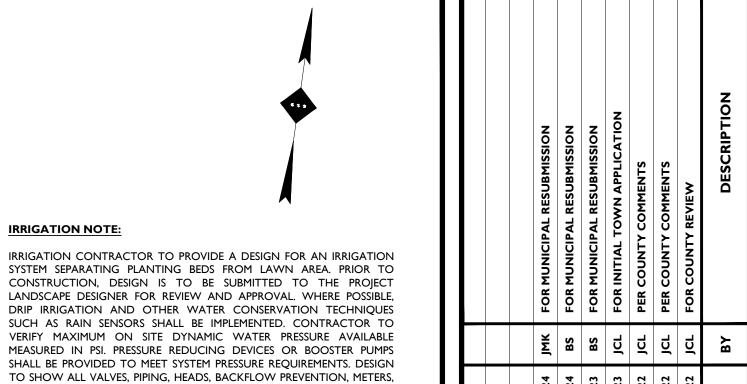
IRRIGATION NOTE:

- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED. 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM

CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION

- 3 INCH LAYER OF MULCH. 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION
- AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO
- WITHIN AREAS OF DISTURBANCE.

 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING



	10/14	01/15	12/18	E0/I I	77/90	
	90	05	94	03	02	;
1)					

DEUGEN DEVELOPMENT

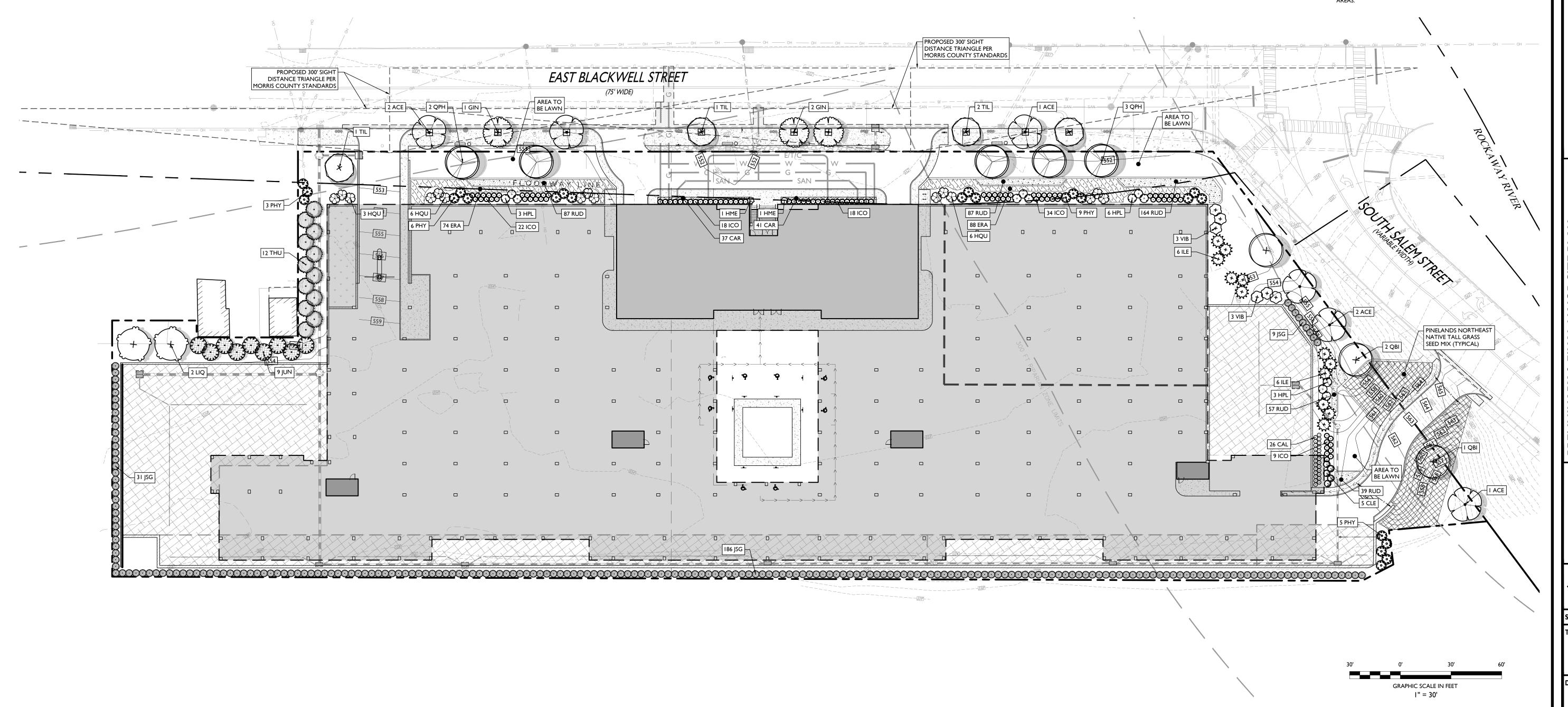
JEFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER

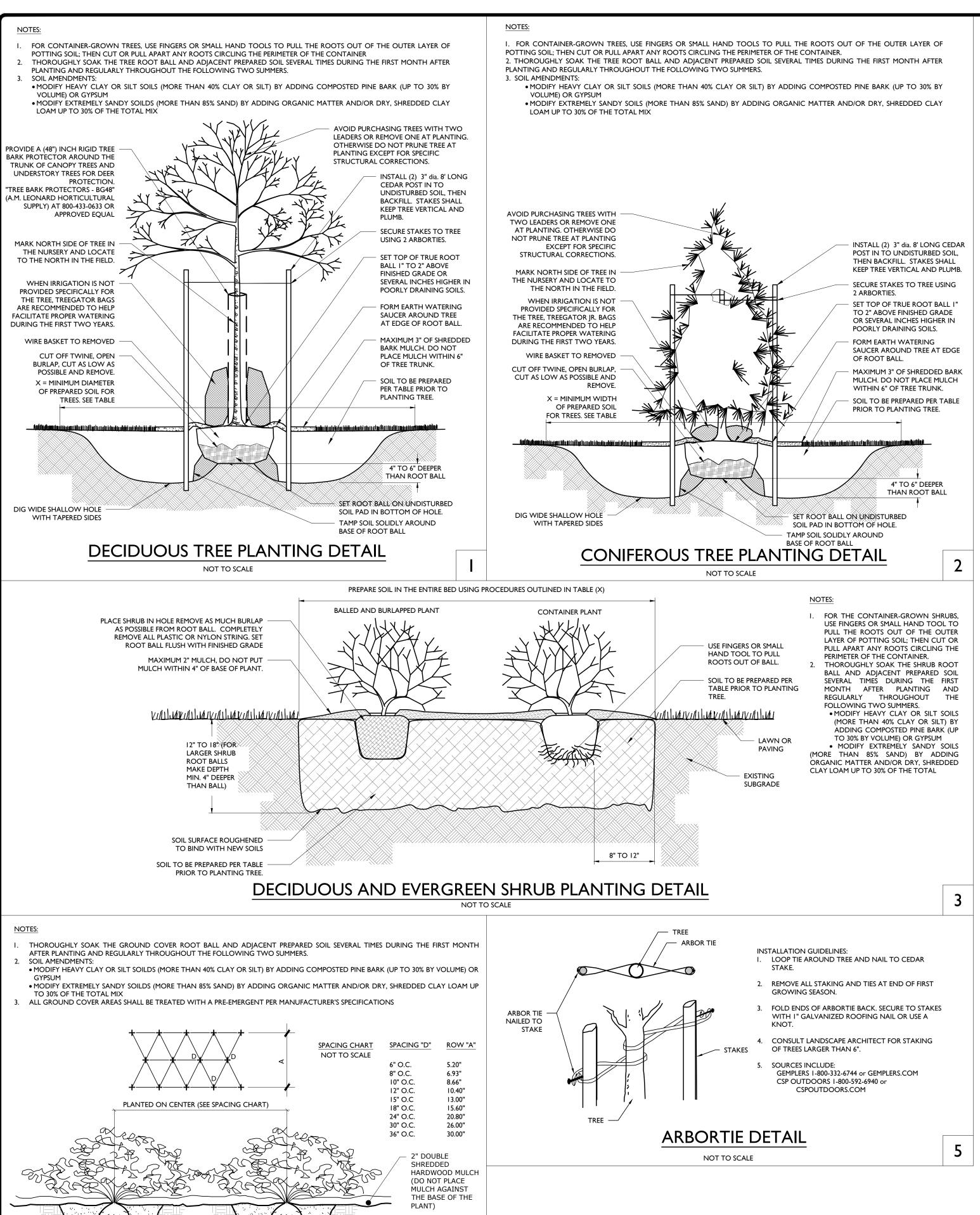


I" = 30' PROJECT ID: T-16195.02

LANDSCAPING PLAN

DRAWING:





GENTLY PULL ROOTS AWAY FROM TOPSOIL MASS WITH

1 PART SOIL AMENDMENT

(BASED ON SOIL TEST)

3 PARTS NATIVE TOPSOIL

FINGERS

GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

BACKFILL SOIL

GENERAL LANDSCAPING NOTES

- I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- . WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL,
- 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND
- SEED VERIFYING TYPE AND PURITY. 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING
- VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION
- ACTIVITIES HAVE BEEN COMPLETED. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE
- WORK SHALL BE PERFORMED AS FOLLOWS: • TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN THE TREE ROOTS SHALL NOT BE CLIT. BLIT. THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
- RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY FARTH FILL IS PLACED. NEW FARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
- LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED. SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION. NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS
- 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
- MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS,
- ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- . CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS
- REOUIRED TOPSOIL). IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL
- IO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE
- II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF
- 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE

12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.

MOUNTAIN LAUREL. WHICH REQUIRE ERICOID MYCORRHIZAE.

- 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL 15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING
- MYCRO® TREE SAVER A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA. TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING. AND
- SELECTED ORGANIC MICROBIAL NUTRIENTS • DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9. FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL
- APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION. OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL
- DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.
- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS. • TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY
- WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

	IRRIGATION DURING ESTABLIS	SHMENT
SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4 >" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

- I. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
- 2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
- 3. WHEN IRRIGATION FOR SURVIVAL TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES

- REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER
- COMMON NAMES. 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.
- ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND. HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE
- 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE
- 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY
- TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- 7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- 8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS securely fastened to the body of the vehicle to prevent iniury to the plants. Closed vehicles shall be ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.

9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

- 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN possible. The root ball shall be kept moist at all time and covered with moistened mulch or aged WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS HALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED
- II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL. 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INIURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO
- RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT. 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2") ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR
- 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:

PLANTS (MARCH 15 - DECEMBER 15)

LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15)

i Altiliao sei lei ibelt 13).		
BIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
CER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
CER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
CER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
CER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
TULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
ARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
EDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
ELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
DCIDIDLYLLIM VADIETIES	KOELDELITEDIA DANICI II ATA	TAYODII IM VADIETIES

IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.

- CERCIDIPHYLLUM VARIETIES KOELREUTERIA PANICULATA **TAXUX B REPANDENS** CERCIS CANADENSIS LIQUIDAMBAR VARIETIES **CORNUS VARIETIES** LIRIODENDRON VARIETIES TILIA TOMENTOSA VARIETIES **CRATAEGUS VARIETIES** MALUS IN LEAF **ULMUS PARVIFOLIA VARIETIES** NYSSA SYLVATICA ZELKOVA VARIETIES
- 17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- 18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- 19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY. 20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- 21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALI REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION. 2. Mow all grass areas at regular intervals to keep the grass height from exceeding three inches (3"). Mowing
- SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE underlying turf. Mow grass areas in such a manner as to prevent clippings from blowing on paved areas, and sidewalks. Cleanup after mowing shall include sweeping or blowing of paved areas and sidewalks to CLEAR THEM FROM MOWING DEBRIS.
- 23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND
- 24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED. 25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY
- MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT
- INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED. IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER. FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

PLANT MATERIAL GUARANTEE NOTES

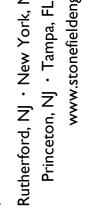
- the Landscape Contractor shall guarantee all plant material for a period of one year (1 yr.) from approval OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S I. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE.
- THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, vandalism, physical damage by animals, vehicles, etc., and losses due to curtailment of water by local AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- . SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS. . SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND
- WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION." 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS
- PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION.'
- 5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS. EROSION. WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR INITIAL TOWN APPLICATION	PER COUNTY COMMENTS	PER COUNTY COMMENTS	FOR COUNTY REVIEW	DESCRIPTION
	ЭМК	BS	BS	JCL	JCL	JCL	JCL	ВҰ
	10/14/2024	01/15/2024	12/18/2023	11/03/2023	06/22/2022	05/04/2022	03/04/2022	DATE
	90	05	94	03	02	10	00	ISSUE





ш 0 Ш (7

Ш

EFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-16195.02

LANDSCAPING DETAILS

DRAWING:

			PROPOSED LUMINAI	RE SCHEDULE			
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	82	CREE CPY250 CANOPY LIGHT - 30K		0.90	CREE LIGHTING	CPY250-C-4L-30K8-F-UL.IES
	В	3	CREE EDGE SERIES WALL MOUNTED LIGHT - 30K - 40 LED - 525 mA	3МВ	0.90	CREE LIGHTING	EDGE-3MB-EDITABLE.IES
©	С	8	HOLOPHANE GLASWERKS PRISMATIC LED BERN AREA LIGHT		0.90	HOLOPHANE	GBLB3 PIO 30K XXXXX BG5.IES

	DESIGN REQUIREMENTS	
CODE SECTION	REQUIRED	PROPOSED
§236-43.H.	ALL LIGHTING USED TO ILLUMINATE ANY OFF-STREET PARKING OR LOADING AREA SHALL BE SO ARRANGED AS TO REFLECT THE LIGHT AWAY FROM ADJOINING RESIDENTIAL PREMISES. ILLUMINATION LEVELS SHALL BE IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IES) LIGHTING	COMPLIES

GENERAL LIGHTING NOTES

- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE
- AND OTHER VARIABLE FIELD CONDITIONS. 2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- 3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS: LIGHT EMITTING DIODES (LED): 0.90
 HIGH PRESSURE SODIUM: 0.72
- METAL HALIDE: 0.72
 THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN,

SYMBOL	DESCRIPTION					
	PROPOSED CALCULATION AREA					
	PROPOSED ISOMETRIC LINE					
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)					
_	PROPOSED LIGHTING INTENSITY					

GRAPHIC SCALE IN FEET

I" = 30'

DL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
i.x	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED BUILDING MOUNTED LIGHT
©	PROPOSED AREA LIGHT





PROPOSED RESIDENTIAL DEVELOPMENT

DEUGEN DEVELOPMENT, LLC

JEFFREY A. MARTELL, P.E. NEW JERSEY LICENSE No. 47290 LICENSED PROFESSIONAL ENGINEER



I" = 30' PROJECT ID: T-16195.02

LIGHTING PLAN

DRAWING: C-II

S 9 / 88 18 58 18 18 18 18 18 18 18 18 18 18 18 18 18
5 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
5 6 6 6 7 5 8 6 5 6 6 7 5 8 6 6 6 7 6 8 6 6 7 6 8 6 6 7 6 8 6 8 6
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$
557 by 1a 1a 12 12 11 1a by 1a 15 15 11 by 57 by 1a 1a 12 12 11 1a by 1a 15 ba 57 by 1a 1a 12 12 13 by 57 by 1a 1a 12 12 13 by 58 by 1a 1a 12 12 by 58 by 58 by 59
A(III)
A (14)
50 bi
\$\frac{1}{10}\$ \$\frac
50 6 6 6 8 23 A (14) 15 3A (14) 1
00 00 00 00 00 00 00 00 00 00 00 00 00
30' 0' 30' 60'

