

PRELIMINARY AND FINAL SITE PLAN WITH VARIANCES

107-111 BASSETT HIGHWAY
BLOCK 1201 LOT 6.01
TOWN OF DOVER
MORRIS COUNTY
NEW JERSEY

***PROPERTY OWNERS WITHIN 200' OF SUBJECT LOT:**

BLOCK	LOT	ADDRESS	OWNER
1201	1	2 U S HWY 46	DOT OF NJ
1201	6	63-105 BASSETT	BASSETT HWY LLC
1204	1	90 BASSETT HIGHWAY	JM BUTLER HOLDINGS LLC
1204	2	4-6 DEWEY ST	GIBBS HARRY JR
1204	5	83 W BLACKWELL ST	SHEIK MOHAMMAD ANIS & MUSARRAT
1204	6		63-105 BASSETT HIGHWAY, LLC
1204	7		DCC PROPERTIES MANAGEMENT LLC
1204	8	89 W BLACKWELL ST	DCC PROPERTIES MANAGEMENT LLC
510	2		NJ TRANSIT CORP
510	3		NJ TRANSIT CORP
511	1	91 W BLACKWELL ST	TOWN OF DOVER
515	1	W. BLACKWELL ST	TOWN OF DOVER
615	3	1 U S HWY 46	ONE RT 46 LLC
615	3.01	U S HWY 46	DOT OF NJ

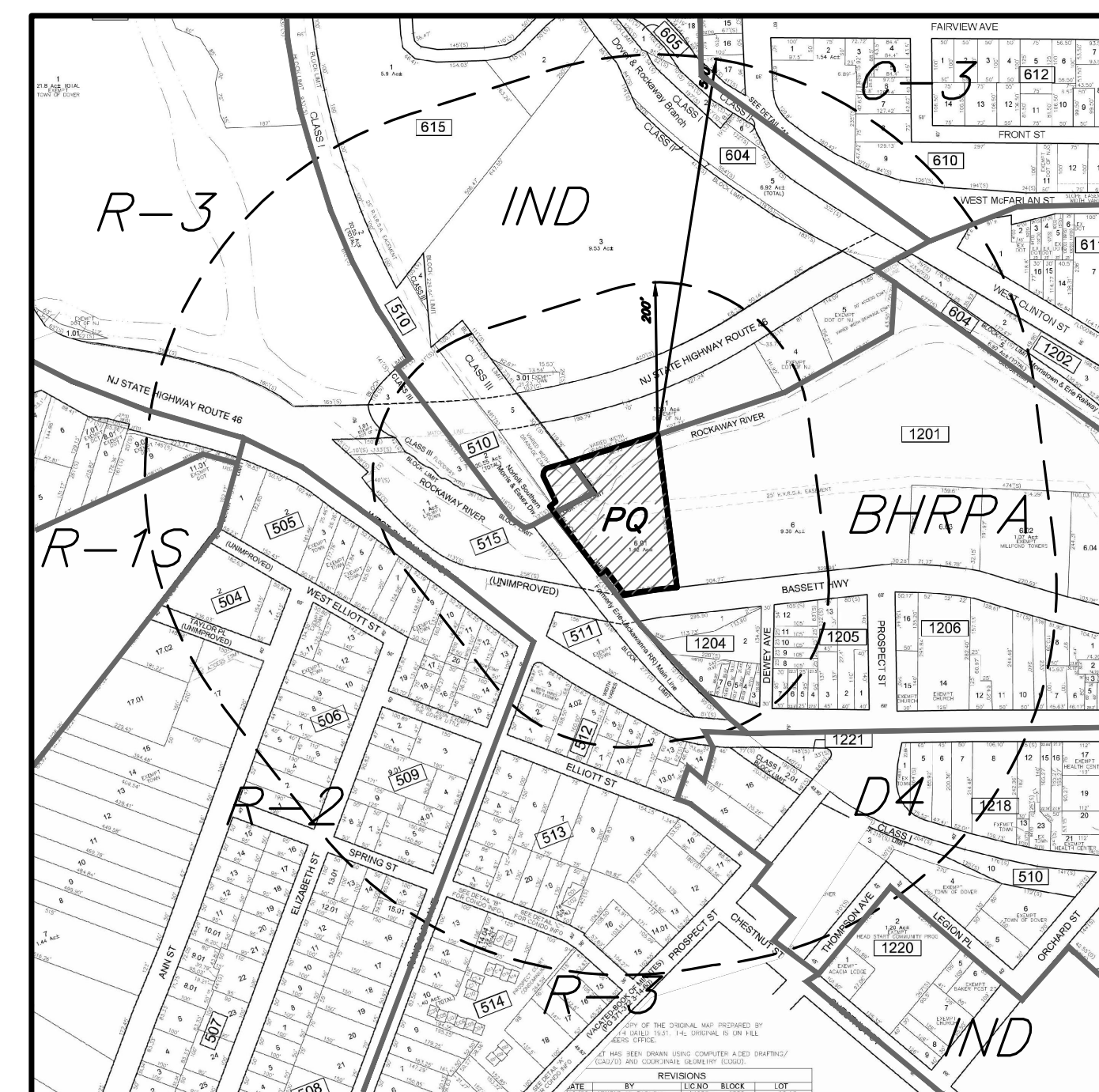
*NOTICE TO BE SERVED FROM CERTIFIED LIST OBTAINED FROM THE MUNICIPALITY

ADDITIONAL PARTIES TO BE NOTIFIED

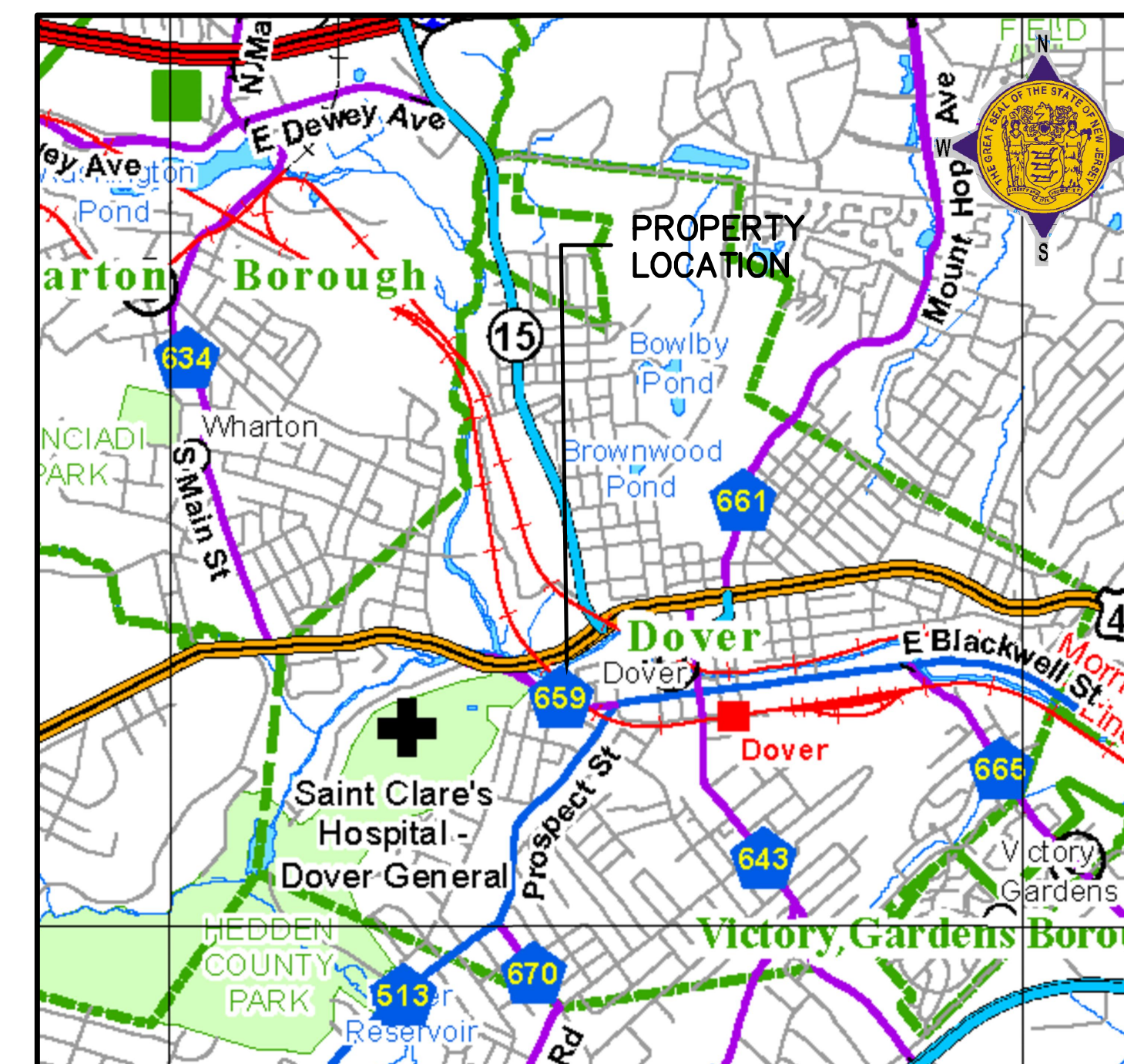
- JCP&L CORPORATE HEADQUARTERS
300 MADISON AVENUE
MORRISTOWN, NJ 07960
- NEW JERSEY NATURAL GAS CO.
1415 WYCKOFF ROAD
WALL, NJ 07719
- VERIZON, NJ INC.
NJ BELL HEADQUARTERS
540 BROAD STREET
NEWARK, NJ 07102
- CABLEVISION
683 ROUTE 10 EAST
RANDOLPH, NJ 07869

ZONING SCHEDULE

BULK REQUIREMENT	BHRP ZONE	EXISTING	PROPOSED
MIN. LOT AREA	NONE	78,007 S.F.	NO CHANGE
MIN. LOT WIDTH	NONE	N/A	NO CHANGE
MIN. FRONT YARD SETBACK	N/A	N/A	NO CHANGE
MIN. REAR YARD SETBACK	NONE	76.4 FT.	NO CHANGE
MIN. SIDE YARD SETBACK	NONE	0 FT.	NO CHANGE
MAXIMUM BUILDING HEIGHT	96 FT.	<35 FT	33.67 FT.



KEY MAP
1" = 200'±



MORRIS COUNTY ROAD MAP
1" = 2000'±

GENERAL NOTES:

- TOWN OF DOVER TAX MAP REFERENCE BLOCK 1201 LOT 6.01, AS SHOWN ON TAX MAP SHEET 12.
- BOUNDARY, TOPOGRAPHY AND EXISTING CONDITIONS FROM FIELD SURVEY BY THIS FIRM ON NOVEMBER 9, 2020.
- THE PROJECT VERTICAL DATUM IS BASED UPON NAVD 88 DERIVED USING RTK RECEIVERS AND KEYNET.
- THE EXISTING UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND UTILITIES 1 (800) 272-1000 FOR MARKOUT PRIOR TO EXCAVATION. TEST PITS SHALL BE EXCAVATED BY THE CONTRACTOR AT ALL CROSSINGS PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES. TEST PIT DATA SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED.
- UTILITY LOCATIONS APPROXIMATE. CONTRACTOR IS RESPONSIBLE TO OBTAIN MARKOUT FOR THE VERIFICATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONAL THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE"; "MAINTENANCE, CONSTRUCTION AND DEMOLITION" AND "BUILDING CODE".
- ALL CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH COUNTY & TOWNSHIP STANDARDS AND INSPECTIONS AND AS GOVERNED BY THE 2019 U.S. CUSTOMARY ENGLISH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION, WITH AMENDMENTS THERETO.
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, WATER TABLE ELEVATION, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE TO APPROVE PROPOSED BUILDING ELEVATIONS AND LOCATION PRIOR TO ANY EXCAVATION. IF CHANGES ARE REQUESTED, THE SITE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY. THE SITE ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO ANY CHANGES OCCURRING FROM FIELD MODIFICATIONS.
- THE OWNER, BY AUTHORIZING FERRIERO ENGINEERING, INC. TO PERFORM CONSTRUCTION STAKE OUT OF ANY COMPONENT OF THE WORK HAS ACKNOWLEDGED THEIR REVIEW AND APPROVAL OF THE LOCATION AND ELEVATION OF ALL IMPROVEMENTS SHOWN.
- THERE SHALL BE NO BURYING OF DEBRIS OR CONSTRUCTION MATERIAL ON SITE.
- ALL PROPOSED STRIPING SHALL BE COMPRISED OF LONG-LIFE EPOXY BASED PAINT. CONTRACTOR SHALL PROVIDE THE CONSTRUCTION MANAGER WITH A SUBMITTAL OF THE PROPOSED MATERIALS FOR APPROVAL PRIOR TO CONSTRUCTION.
- THE STANDARD OF CARE FOR ALL PROFESSIONAL ENGINEERING AND RELATED SERVICES PERFORMED OR FURNISHED BY FEI UNDER THIS AGREEMENT WILL BE THE CARE AND SKILL ORDINARILY USED BY MEMBERS OF THE SUBJECT PROFESSION PRACTICING UNDER SIMILAR CIRCUMSTANCES AT THE SAME TIME AND IN THE SAME LOCALITY. FEI MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, UNDER THIS AGREEMENT OR OTHERWISE, IN CONNECTION WITH THE SERVICES PROVIDED.
- FERRIERO ENGINEERING, INC. MAY USE ALL INFORMATION CONTAINED IN OUTSIDE CONSULTANTS REPORTS, DATA, SURVEYS AND INSTRUCTIONS FROM THE CONSULTANTS THAT HAVE BEEN HIRED BY THE CLIENT TO WORK ON THIS PROJECT IN CONNECTION WITH THE SERVICES PROVIDED.
- FERRIERO ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER, OR OF ANY CONTRACTORS AGENTS OR EMPLOYEES OR ANY OTHER PERSONS AT THE PROJECT SITE OR OTHERWISE FURNISHING OR PERFORMING ANY CONSTRUCTION WORK; OR FOR ANY DECISION MADE ON INTERPRETATIONS OR CLARIFICATIONS OF THE CONSTRUCTION CONTRACT GIVEN BY CLIENT WITHOUT THE CONSULTATION AND ADVICE OF ENGINEER.
- ALL DESIGN DOCUMENTS PREPARED OR FURNISHED BY FEI ARE INSTRUMENTS OF SERVICE, AND FEI RETAINS AN OWNERSHIP AND PROPERTY INTEREST (INCLUDING COPYRIGHT AND THE RIGHT TO REUSE) IN SUCH DOCUMENTS, WHETHER OR NOT THE PROJECT IS COMPLETED. THE CLIENT MAY OBTAIN COPIES FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE PROJECT PROVIDED THAT FEES FOR SERVICES RENDERED HAVE BEEN PAID IN FULL. IN ADDITION, THE REASONABLE COSTS OF RESEARCH AND REPRODUCTION FOR COPIES OR RECORDS SHALL BE PAID.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- THIS PROJECT PROPOSES LESS THAN 1-ACRE DISTURBANCE AND A REDUCTION IN IMPERVIOUS COVERAGE SO IT IS NOT CONSIDERED A "MAJOR DEVELOPMENT" AS DEFINED BY THE NJDEP.
- THIS PROPERTY IS LOCATED WITHIN THE BASSETT HIGHWAY REDEVELOPMENT PLAN AREA.
- THERE ARE NO FRESHWATER WETLANDS WITHIN 150' OF THE SUBJECT PROPERTY BASED ON NJDEP GEOWEB DATABASE MAPPING.
- A PORTION OF THIS PROJECT IS LOCATED WITHIN A FLOOD HAZARD AREA AND RIPARIAN ZONE AND QUALIFIES FOR PERMITS BY RULE #4, #7, #8 AND #10 FROM N.J.A.C. 7:13 FOR THE VARIOUS ACTIVITIES PROPOSED.
- NO WORK IS PROPOSED WITHIN THE FLOODWAY.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIAL, TREES, TREE STUMPS, BRUSH OR OTHER SURPLUS MATERIAL. ALL SUCH MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS ARE NOT TO BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNER.
- ANY DISCREPANCIES BETWEEN THE SITE INFORMATION PROVIDED ON THE PLAN, AND THOSE FOUND AT THE SITE, SHALL BE REPORTED TO THE DESIGN ENGINEER AT ONCE.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PLANNING BOARD

THE TOWN OF DOVER PLANNING BOARD APPROVED THIS PLAN AT A MEETING HELD ON _____

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

NO.	DATE	REVISION

811 ONE CALL
Know what's below. Call before you dig.
DIAL 811 OR 1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU ARE GOING TO DIG, BLAST OR DRILL
THREE (3) WORKING DAYS NOTICE
REMEMBER IT'S THE LAW!
Dig Safely.

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PRELIMINARY AND FINAL SITE PLAN WITH VARIANCES

107-111 BASSETT HIGHWAY
BLOCK 1201 LOT 6.01
TOWN OF DOVER
MORRIS COUNTY
NEW JERSEY

Ferriero Engineering, Inc.
180 MAIN STREET P.O. BOX 571
CHESTER, NEW JERSEY 07930
CERTIFICATE OF AUTHORIZATION 24627935400

APPLICANT/OWNER:
WEST MORRIS OZF PROPERTY DEVELOPMENT COMPANY C/O CHRIS MURPHY
37 NOLANS POINT PARK ROAD LAKE HOPATCONG, NJ 07849

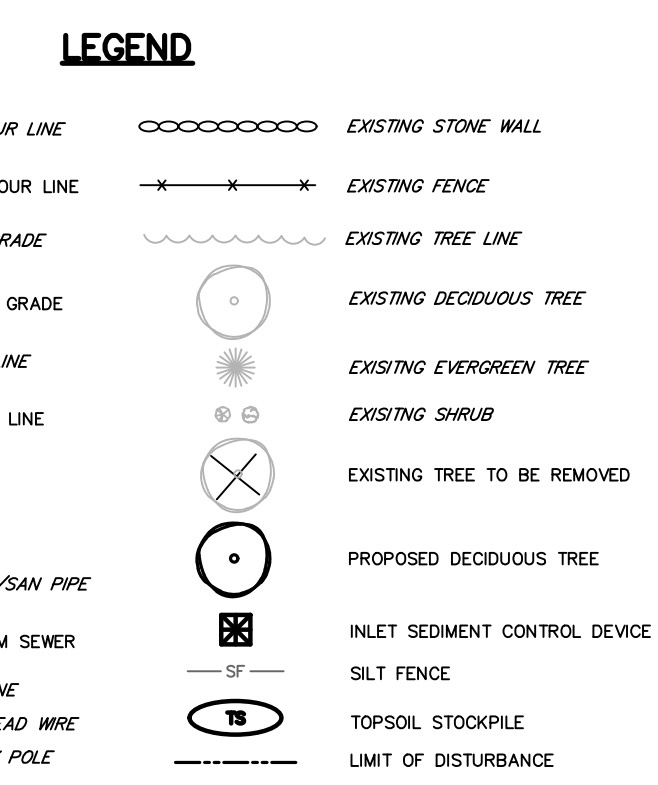
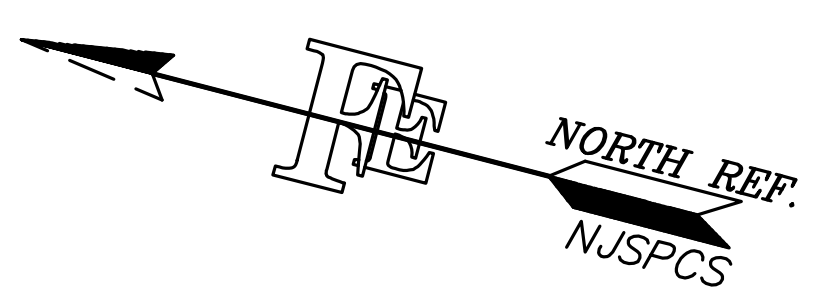
ATTORNEY:
INGLESINO, WEBSTER, WYCISKALA & TAYLOR, LLC
600 PARSIPPANY ROAD, SUITE 204
PARSIPPANY, NJ 07054

ARCHITECT:
BYRNE DESIGN ASSOCIATES, INC.
10 MAIN STREET, CHESTER, NJ 07930

CIVIL/SITE ENGINEER:
FERRIERO ENGINEERING, INC.
180 MAIN STREET, P.O. BOX 571
CHESTER, NJ 07930
(908)-879-6209

9/16/21

FEI No. 201051 N.J. PROFESSIONAL ENGINEER NO. GE32978 SHEET 1 OF 9



IMPORTANT NOTES:

- ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. 12101 et seq. AND 42 U.S.C. 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, THE CONTRACT DOCUMENTS, AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO FERRIERO ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY FERRIERO ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND PROVIDE A SAFE WORK AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION. ALL DAMAGE MUST BE DISCLOSED TO OWNER.
- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR IS THE ENGINEER OF RECORD BEING RETAINED FOR SUCH PURPOSES.
- FERRIERO ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FERRIERO ENGINEERING SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT FERRIERO ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. FERRIERO ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. FERRIERO ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF FERRIERO ENGINEERING, NOR THE PRESENCE OF FERRIERO ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING SUPERINTENDING AND COORDINATING THE CONSTRUCTION AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. FERRIERO ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER AND OWNER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED WITH CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM IS INCLUDED IN THE CONTRACTORS PRICE WHETHER BROKEN OUT AS A LINE ITEM OR NOT.

DEMOLITION NOTES:

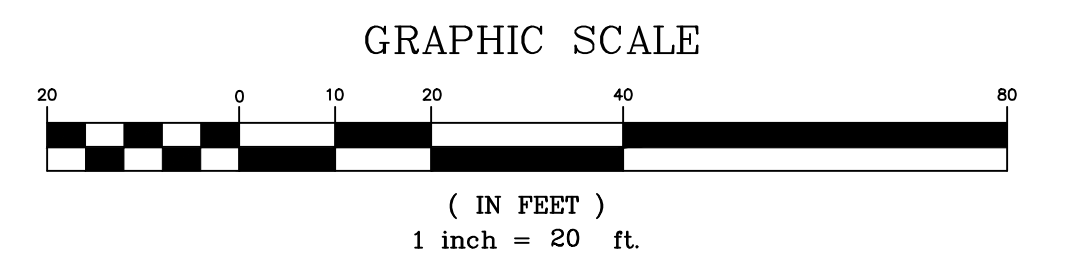
- CONTRACTOR TO OBTAIN DEMOLITION PERMIT FROM THE TOWN OF DOVER BUILDING DEPARTMENT AS REQUIRED.
- CONTRACTOR TO CONDUCT DEMOLITION TO AVOID INTERFERENCE WITH ADJACENT STRUCTURES.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN ACCESS TO THE SITE AND PUBLIC ROADWAY AT ALL TIMES.
- REMOVE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM SITE.
- REMOVE ALL STRUCTURE FOUNDATIONS (WALLS, FOOTINGS, BUILDING FOOTINGS) COMPLETELY & DISPOSE OF OFF-SITE. AREA FOR THE EXISTING FOOTINGS AND RAMP TOP BASEMENT SHALL BE BACKFILLED WITH TYPE G (NJDOT 1-14 SOIL AGGREGATE) COMPACTED FILL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND IDENTIFYING ALL ON-SITE UNDERGROUND UTILITIES AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF WORK. THIS SHALL BE IN ADDITION TO THE MARK-OUT RESULTING FROM (1-800-272-1000) NJ ONE-CALL MARK-OUT, IF UTILITIES ARE DISCOVERED FROM THE MARK-OUT THAT ARE NOT SHOWN ON THE PLAN, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH TEST PIT EXCAVATION WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE AS NEEDED TO KEEP THE SITE FREE OF STANDING WATER & MUD.

GENERAL NOTES:

- THIS PLAN REPRESENTS FIELD CONDITIONS AS OF NOVEMBER 9, 2020.
- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM EVIDENCE OBSERVED ON THE SURFACE ONLY OR HAVE BEEN SHOWN GRAPHICALLY PER SUPPLIED MATERIALS. FERRIERO ENGINEERING MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. FERRIERO ENGINEERING FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. FERRIERO ENGINEERING HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- PREMISES ARE COMMONLY KNOWN AS 107 BASSETT HIGHWAY, DOVER, NEW JERSEY.
- ALSO KNOWN AS LOT 6.01 IN BLOCK 1201 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWN OF DOVER, MORRIS COUNTY, NEW JERSEY.
- CORNER MARKERS HAVE BEEN VERIFIED AND/OR SET AS SHOWN.
- THE PROJECT VERTICAL DATUM IS BASED UPON NAVD 88 DERIVED USING RTK RECEIVERS AND KEYSET.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

MAP REFERENCES:

- MAP ENTITLED "NEW JERSEY DEPARTMENT OF TRANSPORTATION, ROUTE 46 (1953), SECTION 8, FROM BLACKWELL STREET TO TABOR ROAD, PARCEL ER86, TOWN OF DOVER, COUNTY OF MORRIS, DECEMBER 2008," PREPARED BY MEDINA CONSULTANTS DATED MAY 2, 2008.



FLOOD HAZARD AREA NOTES:

- NJDEP FLOODWAY, 100-YEAR FLOOD LIMIT AND FLOOD HAZARD AREA LIMIT TAKEN FROM NJDEP DELINEATION OF FLOODWAY AND FLOOD HAZARD AREA FOR THE ROCKAWAY RIVER STA. 1184+90 TO STA. 1284+00, SHEET C-17 DATED 12/85.
- FEMA FLOODWAY LIMIT AND SPECIAL FLOOD HAZARD AREA LINE TAKEN FROM FEMA FIRM MAP NUMBER 340340001D EFFECTIVE JULY 4, 1989. BASE FLOOD ELEVATION OF 577.0' AT THE WESTERN EDGE OF THE PROPERTY TAKEN FROM THIS MAP IS REFERENCED TO NAVD 1929. CONVERSION TO NAVD88 IS 577.0-0.78 = 576.22.
- THE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION FOR THE ROCKAWAY RIVER HAS BEEN ESTABLISHED BY THE NJDEP AT ELEVATION 579' AT BRIDGE ABUTMENT LOCATED AT THE WESTERN EDGE OF THE PROPERTY BASED UPON AN NJDEP MAP ENTITLED "DELINEATION OF FLOODWAY AND FLOOD HAZARD AREA, ROCKAWAY RIVER, STA. 1184+90 TO STA. 1284+00, WHARTON BOROUGH, DOVER TOWN, MORRIS COUNTY, NEW JERSEY," DATED 12/85, BASED ON NAVD 1929. ONSITE TOPOGRAPHIC SURVEY CONDUCTED BY THIS FIRM ON 11/9/2020 BASED UPON NAVD 1988. CONVERSION TO NAVD88 IS 579.0-0.78 = 578.22.
 * CONVERSION FACTOR TO NAVD88 IS (-0.78).

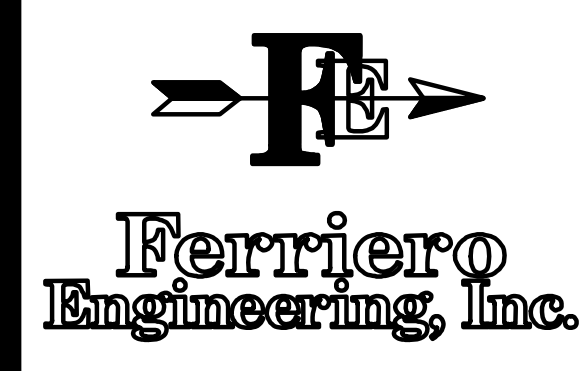
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NO.	DATE	REVISION

NO. DATE REVISION
 DRAWN BY: JSK SCALE: FIELD BOOK:
 1" = 20' -

CHKD BY: FILE:
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PAUL W. FERRIERO
 N.J. PROFESSIONAL ENGINEER
 NO. GE 32978



180 MAIN STREET P.O. BOX 571
 CHESTER, NEW JERSEY 07930
 908-879-6209

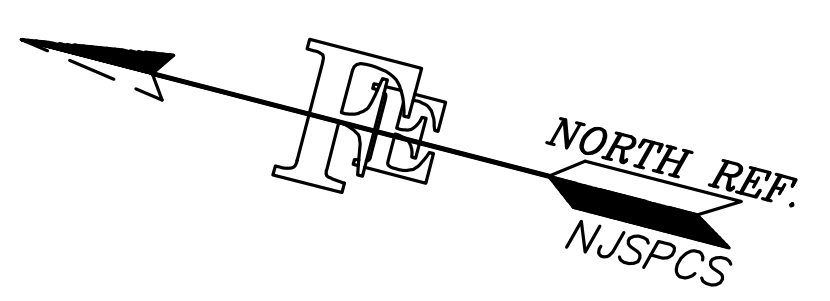
CERTIFICATE OF AUTHORIZATION 246A27935400

DEMOLITION & EXISTING CONDITIONS PLAN

TAX LOT 6.01
 BLOCK 1201
 TOWN OF DOVER
 MORRIS COUNTY
 NEW JERSEY

SHEET
 2 OF 9

DATE: 9/16/21 PROJECT NO:
 REVISION: 201051



LEGEND

- 540 --- EXISTING CONTOUR LINE
- 520 --- PROPOSED CONTOUR LINE
- 516.3 EXISTING SPOT GRADE
- + 640.00 PROPOSED SPOT GRADE
- EXISTING CURB LINE
- PROPOSED CURB LINE
- EXISTING INLET
- PROPOSED INLET
- EXISTING STORM/SEWER PIPE
- PROPOSED STORM SEWER
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRE
- EXISTING UTILITY POLE
- ○ ○ ○ ○ EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- EXISTING SHRUB
- ⊗ EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- PROPOSED DECIDUOUS TREE
- INLET SEDIMENT CONTROL DEVICE
- SILT FENCE
- TOPSOIL STOCKPILE
- LIMIT OF DISTURBANCE
- PROPOSED SIGN

COVERAGE SUMMARY

EXISTING LOT COVERAGE
 PAVED DRIVES 0.5176 AC
 BUILDING 0.4058 AC
 SIDEWALKS 0.0566 AC
TOTAL: 0.9800 AC

0.9800 / 1.79 = 54.7%

PROPOSED LOT COVERAGE
 PAVED DRIVES 0.3589 AC
 BUILDING 0.4058 AC
 SIDEWALKS 0.1009 AC
TOTAL: 0.8656 AC

PROPOSED DECREASE IN IMPERVIOUS COVERAGE: 0.1144 AC (4,983 SF)

PARKING TABLE

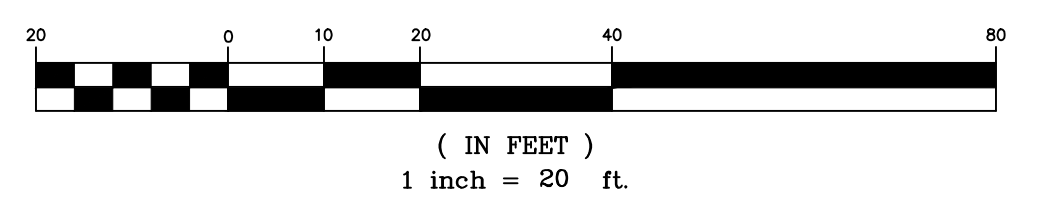
PARKING DESIGNATIONS	EXISTING	PROPOSED
PARKING (TOTAL)	11	38*
STANDARD HANDICAP	1	3
VAN ACCESSIBLE HANDICAP	0	2

*VARIANCE REQUESTED

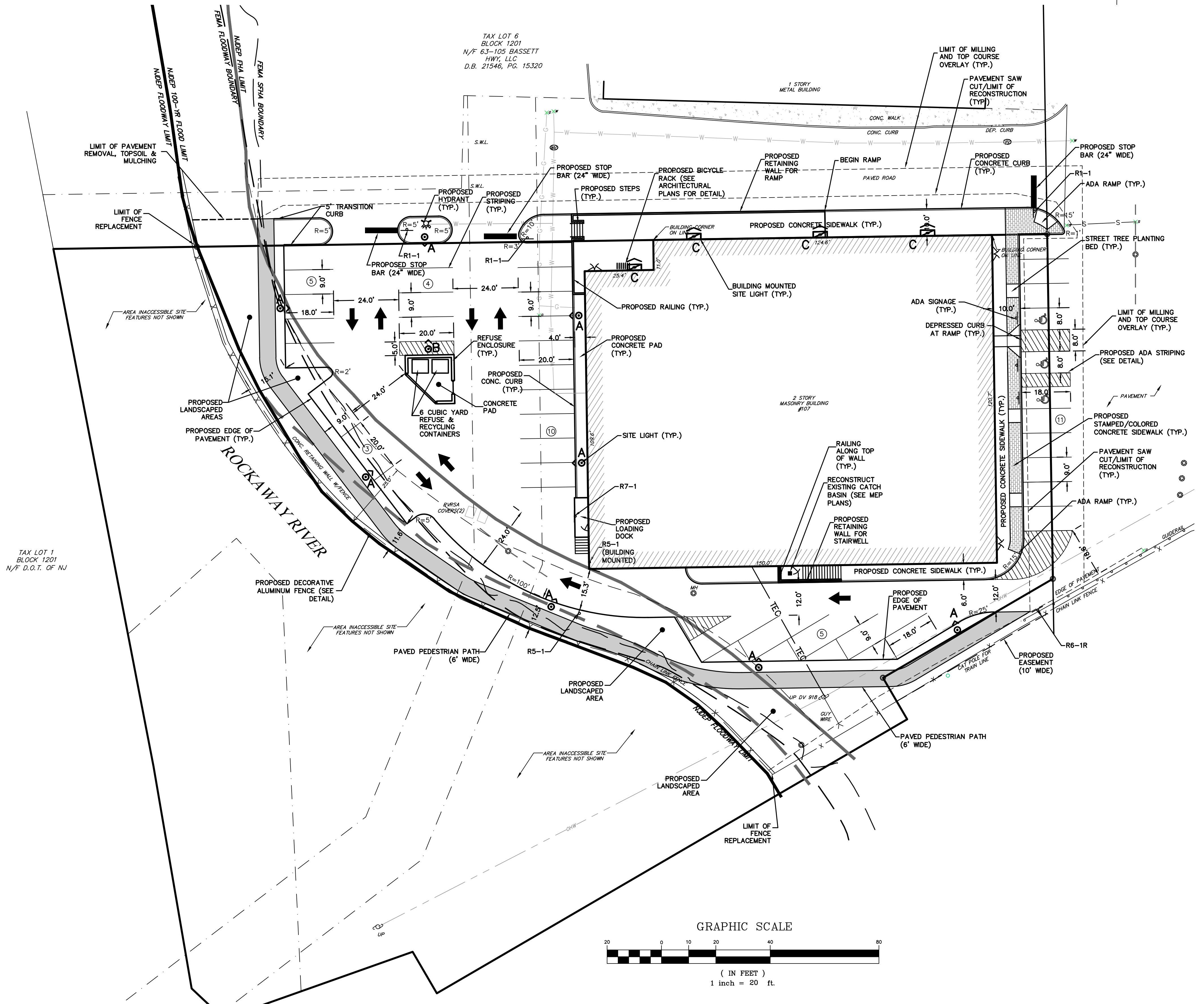
OFFICE BUILDINGS:
 3 PARKING SPACES REQUIRED PER 1,000 SQUARE FEET OF GROSS FLOOR AREA FOR FACILITIES WITH 50,000 SF FLOOR AREA OR LESS IN BLOCK 1201.

EXISTING FLOOR AREA = 17,676 SF±
 17,676 SF / 1,000 SF = 17.7
 17.7 * 3 SPACES = 53.1 (54 SPACES REQUIRED)*

GRAPHIC SCALE



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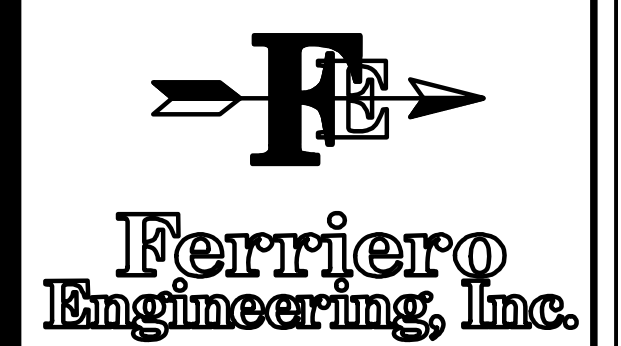


NO.	DATE	REVISION

DRAWN BY: JSK SCALE: 1" = 20' FIELD BOOK: -

CHKD BY: PWF FILE: \201051\201051_BASEMAP

PAUL W. FERRIERO
 N.J. PROFESSIONAL ENGINEER
 NO. **GE 32978**



180 MAIN STREET P.O. BOX 571
 CHESTER, NEW JERSEY 07930
 908-879-6209

CERTIFICATE OF AUTHORIZATION 24GA27935400

SITE & UTILITY PLAN

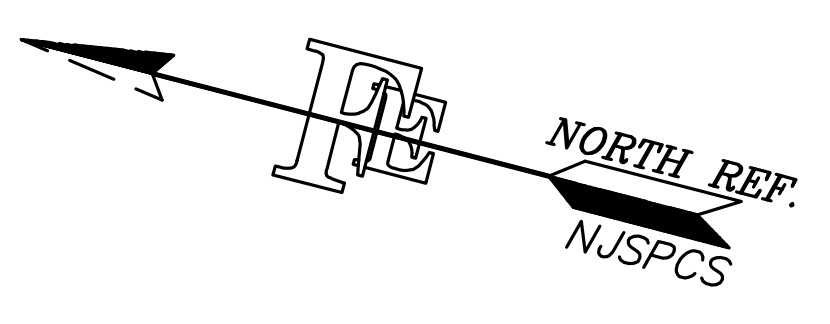
TAX LOT 6.01
 BLOCK 1201
 TOWN OF DOVER
 MORRIS COUNTY
 NEW JERSEY

SHEET
3 OF 9

DATE: 9/16/21 PROJECT NO: 201051
 REVISION: 201051

LEGEND

- 540 — EXISTING CONTOUR LINE
- 516.3 — EXISTING SPOT GRADE
- + 640.00 — PROPOSED SPOT GRADE
- — EXISTING CURB LINE
- — PROPOSED CURB LINE
- — EXISTING INLET
- — PROPOSED INLET
- — EXISTING STORM/SAN PIPE
- — PROPOSED STORM SEWER
- — EXISTING GAS LINE
- — EXISTING OVERHEAD WIRE
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- — EXISTING STONE WALL
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- — EXISTING SHRUB
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- — SILT FENCE
- — TOPSOIL STOCKPILE
- — LIMIT OF DISTURBANCE
- — PROPOSED SIGN



TAX LOT 6
BLOCK 1201
N/F 63-105 BASSETT
HWY, LLC
D.B. 21546, Pg. 15320

STABILIZED CONSTRUCTION
ACCESS TO BE INSTALLED
ONCE EXISTING PAVEMENT IS
REMOVED

LIMIT OF DISTURBANCE=0.655
ACRES
(28,536 SF)

GRADING & UTILITY NOTES:

1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATED CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
4. THE CONTRACTOR SHALL INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH UTILITY REQUIREMENTS HAVING JURISDICTION, AND SHALL BE RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING THE EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO RESOLVE SAME.
6. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
7. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPERS REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. GEOTECHNICAL RECOMMENDATIONS INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING SHALL COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
8. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATIONS SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
9. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
10. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS SHALL NOT PERMITTED.
11. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
12. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR SHALL MAINTAIN A RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD SHALL BE KEPT ON A CLEAN COPY OF THE SITE PLAN, AND BE PROVIDED TO THE OWNER AT THE COMPLETION OF WORK.
13. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR SHALL EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR SHALL CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2x4, AND SHALL NOTE THE LOCATION ON A CLEAN COPY OF THE SITE PLAN, TO BE PROVIDED TO THE OWNER UPON COMPLETION OF WORK.
14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE AT THE CONTRACTOR'S OWN RISK.
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB SURFACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
16. REFER TO DEMOLITION PLAN FOR ADDITIONAL NOTES.
17. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
18. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
19. WHERE RETAINING WALLS ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTING/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
20. SANITARY LATERALS SHALL BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED OTHERWISE.
21. CONTRACTOR TO ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER, AND STORM SYSTEMS, SHALL BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR NJC DETAILS AS APPLICABLE. CONTRACTOR IS TO COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY HAVING JURISDICTION.

NOTES:

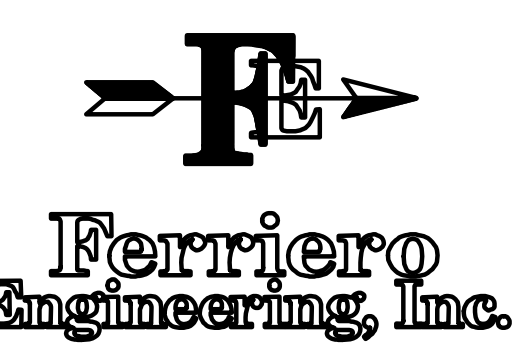
1. ALL EXISTING ROOF LEADER CONNECTIONS AND DISCHARGE POINTS SHALL BE MAINTAINED.
2. EXISTING DRAINAGE PATTERNS TO BE MAINTAINED.
3. NO CHANGES ARE PROPOSED TO EXISTING SANITARY SEWER, WATER AND UTILITY CONNECTIONS.
4. A DECREASE IN IMPERVIOUS COVERAGE RESULTS FROM REDEVELOPMENT OF THE PROPOSED PROPERTY. NO STORM SEWER IMPROVEMENTS ARE PROPOSED.

NO.	DATE	REVISION

DRAWN BY: JSK SCALE: 1" = 20' FIELD BOOK: -

CHKD BY: PWF FILE: \201051\201051_BASEMAP

PAUL W. FERRIERO
N.J. PROFESSIONAL ENGINEER
NO. GE 32978



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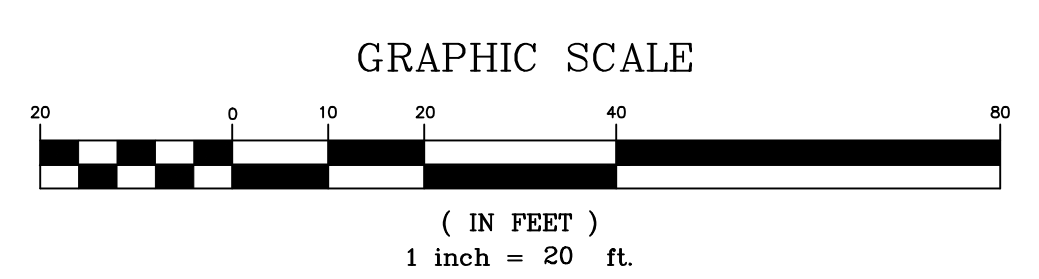
CERTIFICATE OF AUTHORIZATION 246A27935400

**GRADING, SOIL
EROSION &
SEDIMENT
CONTROL PLAN**

TAX LOT 6.01
BLOCK 1201
TOWN OF DOVER
MORRIS COUNTY
NEW JERSEY

SHEET
4 OF 9

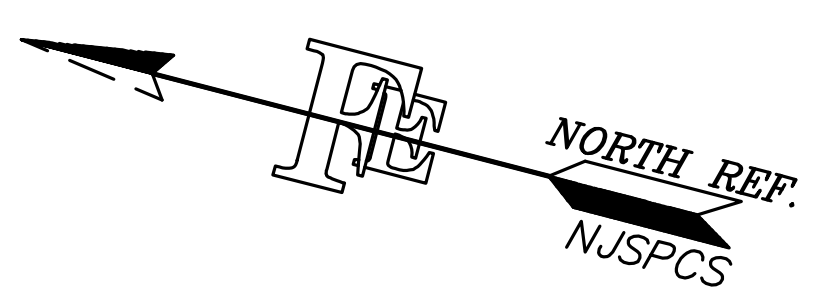
DATE:	9/16/21	PROJECT NO.:	201051
REVISION:			



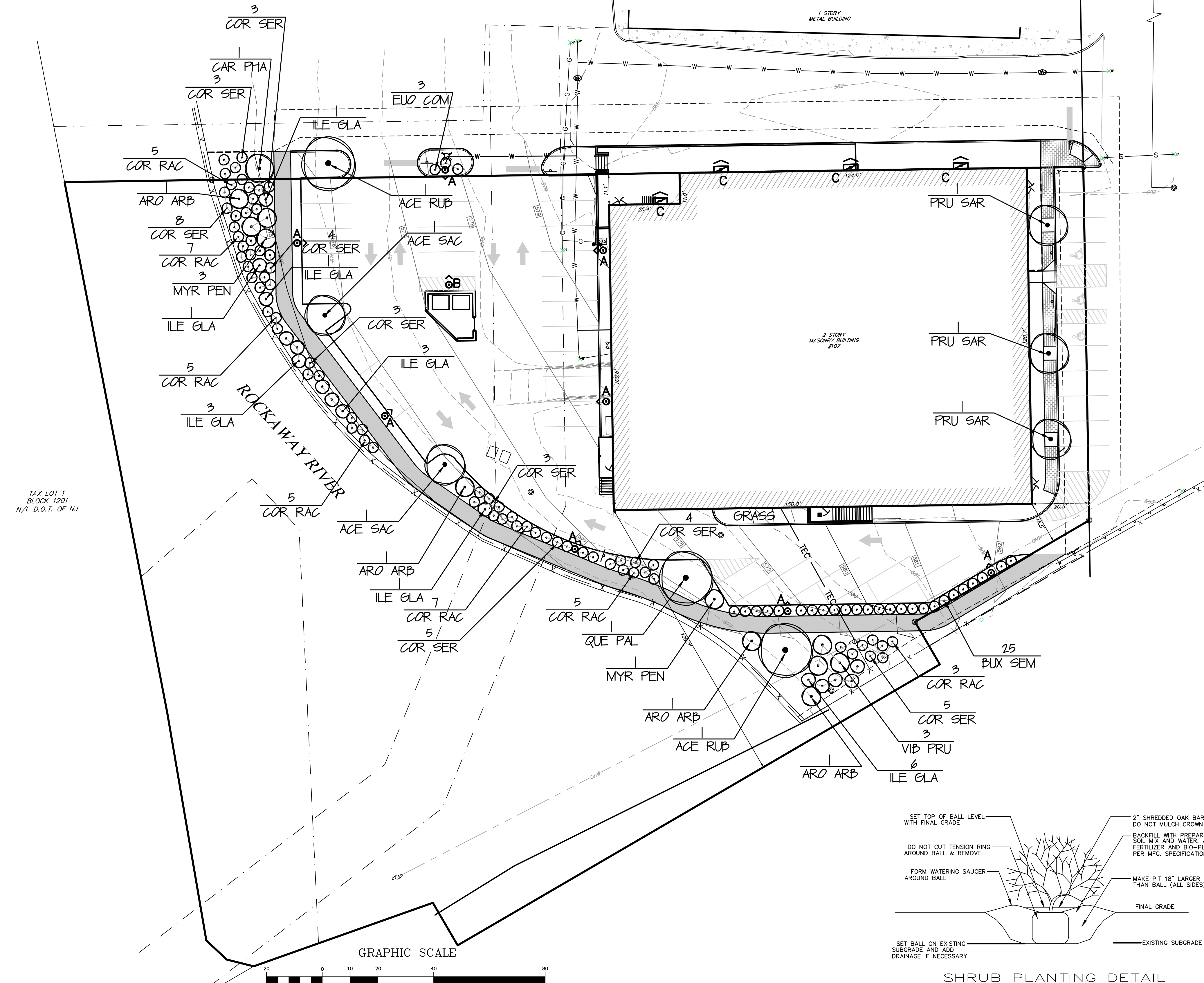
SOIL NOTE:

1. THE SOILS WITHIN THE PROJECT AREA ARE IDENTIFIED AS URBAN LAND (UR) AS SHOWN ON USDA SOIL SURVEY MAPS FOR MORRIS COUNTY.

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TAX LOT 6
BLOCK 1201
N/F 63-105 BASSETT
HWY, LLC
D.B. 21546, PG. 15320



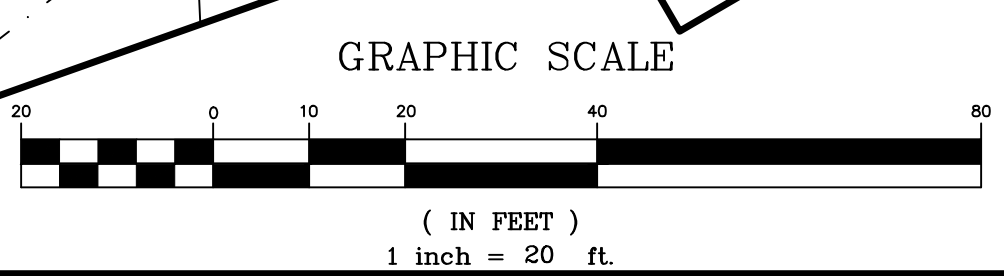
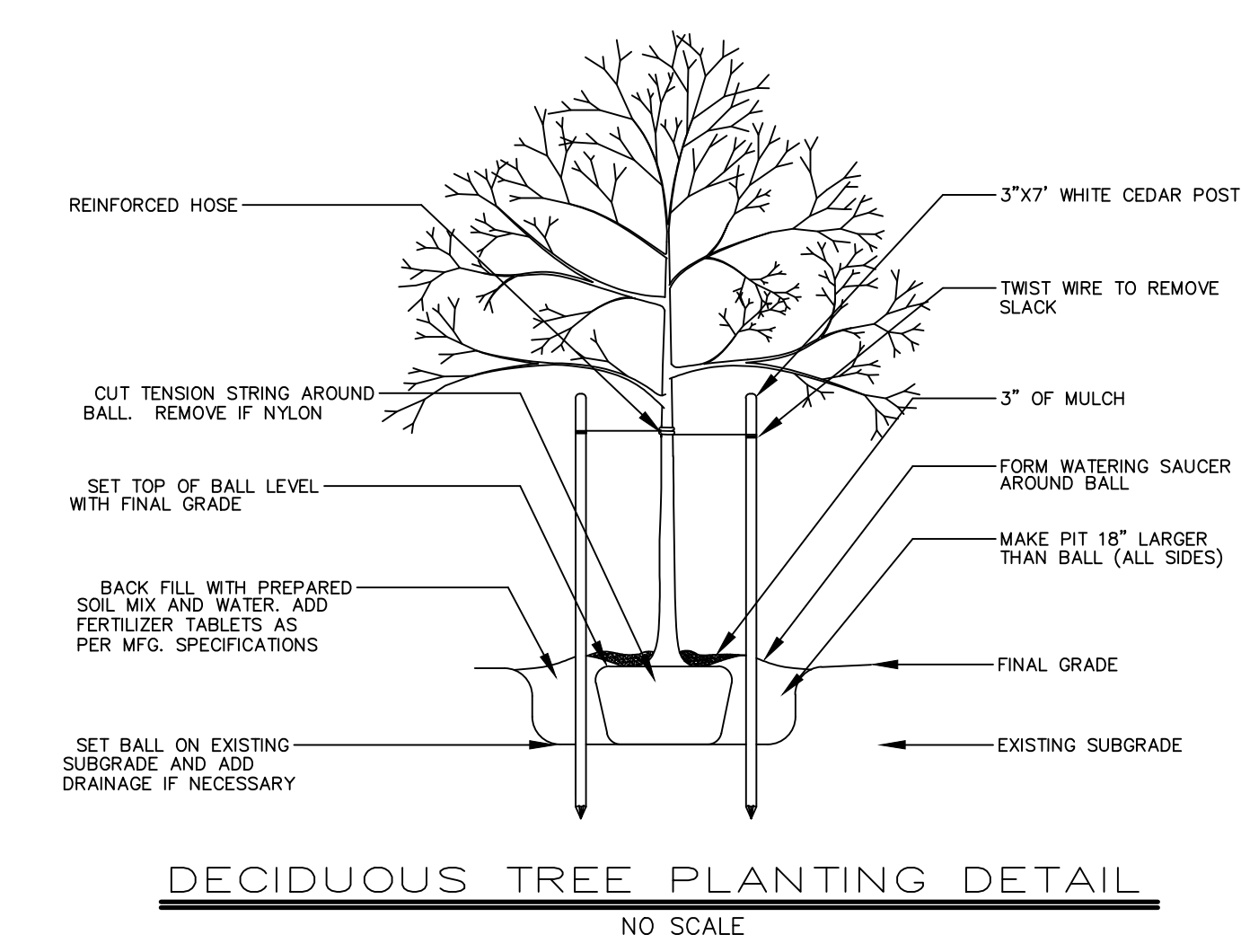
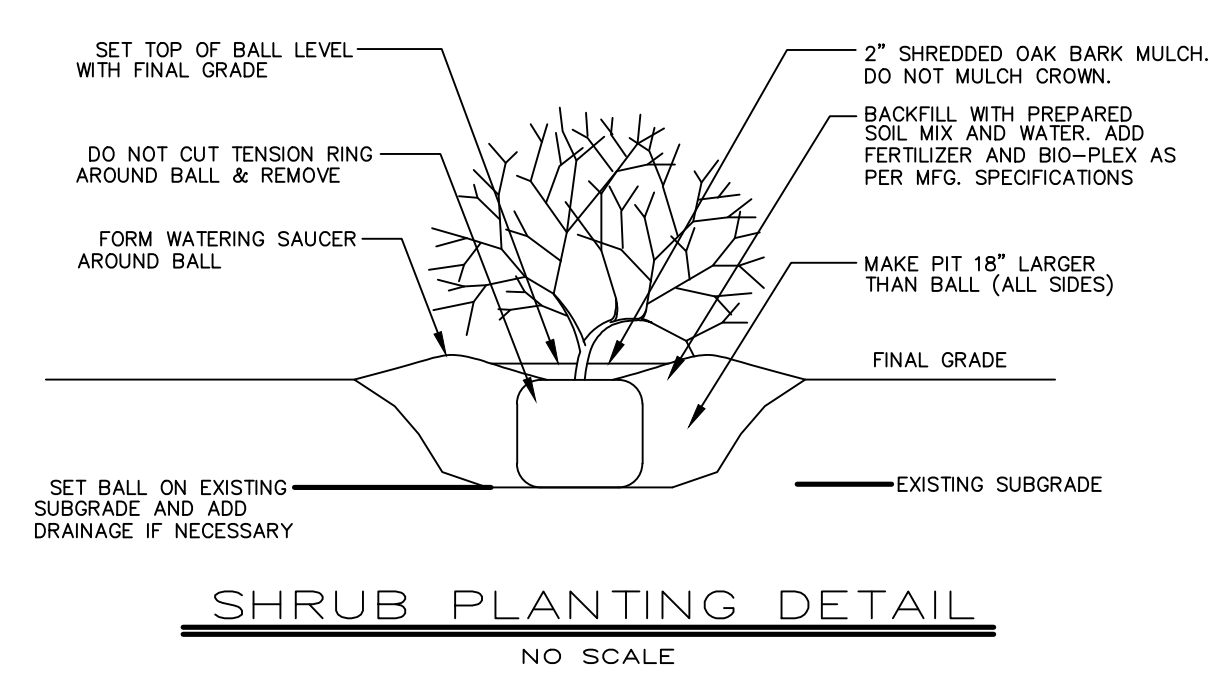
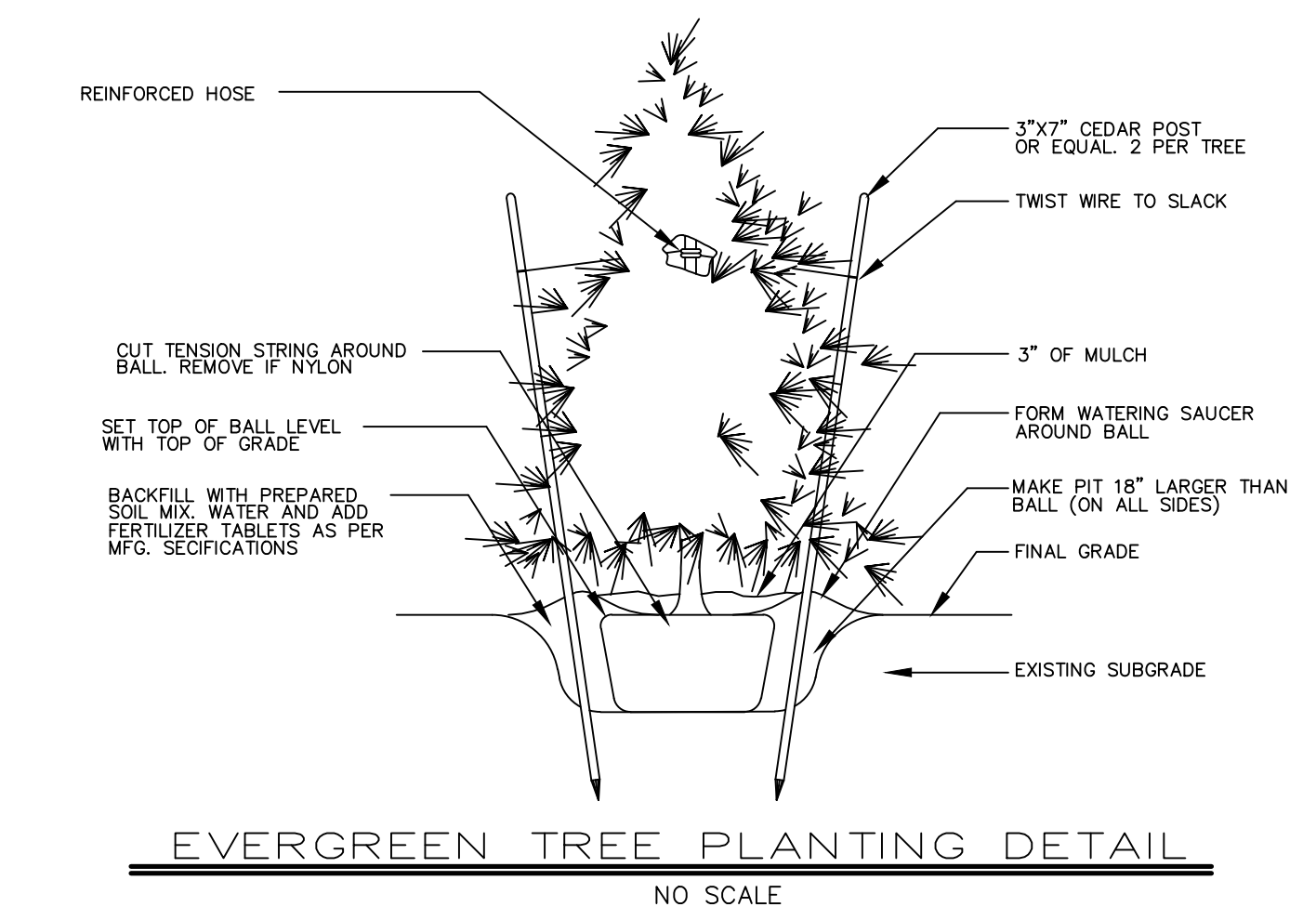
- PLANTING NOTES**
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK, FREE FROM OBJECTIONABLE DISFIGUREMENTS AND DISEASE, TRUE TO VARIETY, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
 - PLANTING PITS ARE TO BE DUG AT LEAST 8 INCHES DEEPER AND 12 INCHES WIDER THAN THE PLANT BALL, AND ARE TO BE BACKFILLED WITH PREPARED PLANTING SOIL CONSISTING OF EQUAL PARTS NATIVE SOIL AND HUMUS.
 - ALL TREES ARE TO BE STAKED WITH TWO 6 FT. CEDAR STAKES, GUYED WITH HOSE COVERED WIRE.
 - ALL PLANTINGS ARE TO BE MULCHED WITH A MINIMUM 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
 - WATERING SAUCERS SHALL BE PROVIDED AROUND EACH TREE.
 - ALL PLANT MATERIALS ARE TO BE GUARANTEED BY THE INSTALLER FOR TWO (2) YEARS, TO BE IN HEALTHY AND VIGOROUS CONDITION, AND THEREAFTER BY OWNER, NECESSARY WATERING AND OTHER MAINTENANCE DURING THE GUARANTEE PERIOD IS THE RESPONSIBILITY OF THE APPLICANT.
 - NO MACHINERY, SOIL, OR CONSTRUCTION MATERIALS MAY BE STORED WITHIN 6 FEET OF TREES TO REMAIN.
 - PLANTING TO TAKE PLACE PRIOR TO REMOVAL OF SOIL EROSION AND SEDIMENT CONTROLS.
 - OPEN AREAS OUTSIDE OF PASTURE AND DEVELOPED AREAS OF THE SITE SHALL BE ESTABLISHED AS MEADOW.
 - REMOVE ALL WIRE BASKETS WHERE PRESENT.
 - REMOVE ALL BURLAP AND TWINE FROM PLANTING PIT.
 - EXPOSE THE ROOT FLARE ON ALL TREES AND PLANT THE FLARE ON GRADE.
 - DO NOT EXCAVATE THE PLANTING PIT DEEPER THAN THE DEPTH OF THE ROOT BALL.
 - APPLY MULCH TO WITHIN 4" OF THE TREE TRUNK.
 - ARBOR TIE CAN BE USED IN LIEU OF WIRE AND HOSE.
 - NO MACHINERY, VEHICLES OR CONSTRUCTION MATERIALS SHOULD BE STORED WITHIN THE DRIP LINE OF THE EXISTING TREES.

LEGEND

---	EXISTING CONTOUR LINE	-----	EXISTING STONE WALL
---	PROPOSED CONTOUR LINE	-----	EXISTING FENCE
516.3	EXISTING SPOT GRADE	-----	EXISTING TREE LINE
+ 640.00	PROPOSED SPOT GRADE	-----	EXISTING DECIDUOUS TREE
---	EXISTING CURB LINE	-----	EXISTING EVERGREEN TREE
---	PROPOSED CURB LINE	-----	EXISTING SHRUB
□	EXISTING INLET	⊗	EXISTING TREE TO BE REMOVED
■	PROPOSED INLET	⊙	PROPOSED DECIDUOUS TREE
---	EXISTING STORM/SAN PIPE	⊙	INLET SEDIMENT CONTROL DEVICE
---	PROPOSED STORM SEWER	---	SILT FENCE
---	EXISTING GAS LINE	---	TOPSOIL STOCKPILE
---	EXISTING OVERHEAD WIRE	---	LIMIT OF DISTURBANCE
---	EXISTING UTILITY POLE	---	PROPOSED SIGN

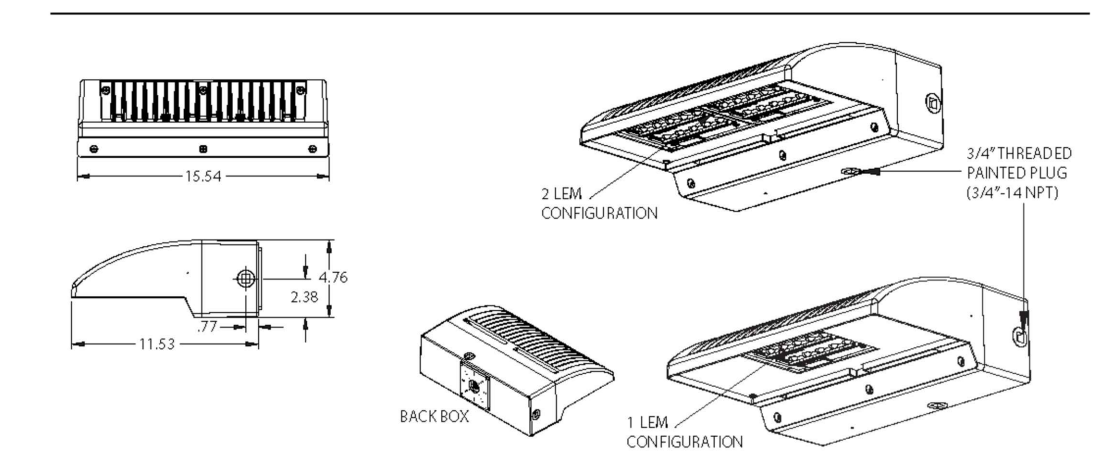
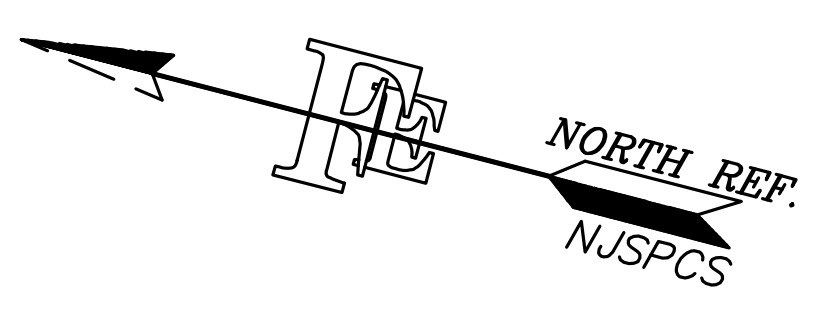
PLANTING SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
ACE RUB	2	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2-1/2 TO 3 IN, B&B
ACE SAC	2	ACER SACCHARUM 'GOLDSPIRE'	GOLDSPIRE SUGAR MAPLE	2-1/2 TO 3 IN, B&B
ARO ARB	4	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	24" - 36", CONT.
BUX SEM	25	BUXUS SEMPERVIRENS	AMERICAN BOXWOOD-UPRIGHT	24" - 36", #3 CAN
CRA PHA	1	CRATAEGEUS PHAENOPYRUM	WASHINGTON HAWTHORNE	2-1/2" TO 3" IN, B&B
COR RAC	37	CORNUS RACEMOSA	GRAY DOGWOOD	24" - 30"
COR SER	38	CORNUS SERICEA (BAILEY)	BAILEY'S REDTIG DOGWOOD	24" - 30", B.R.
EUD COM	3	EUONYMUS COMPACTUS	BURNING BUSH	24" - 36", #3 CAN
ILE GLA	15	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24" - 30", B.R.
MYR PEN	4	MYRICA PENNSYLVANICA	BAYBERRY	2'-3", CONT.
PRU SAR	3	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2-1/2 - 3 IN, B&B
QUE PAL	1	QUERCUS PALUSTRIS	PIN OAK	2-1/2 TO 3 IN, B&B
VIB PRU	3	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	4'-5', B&B

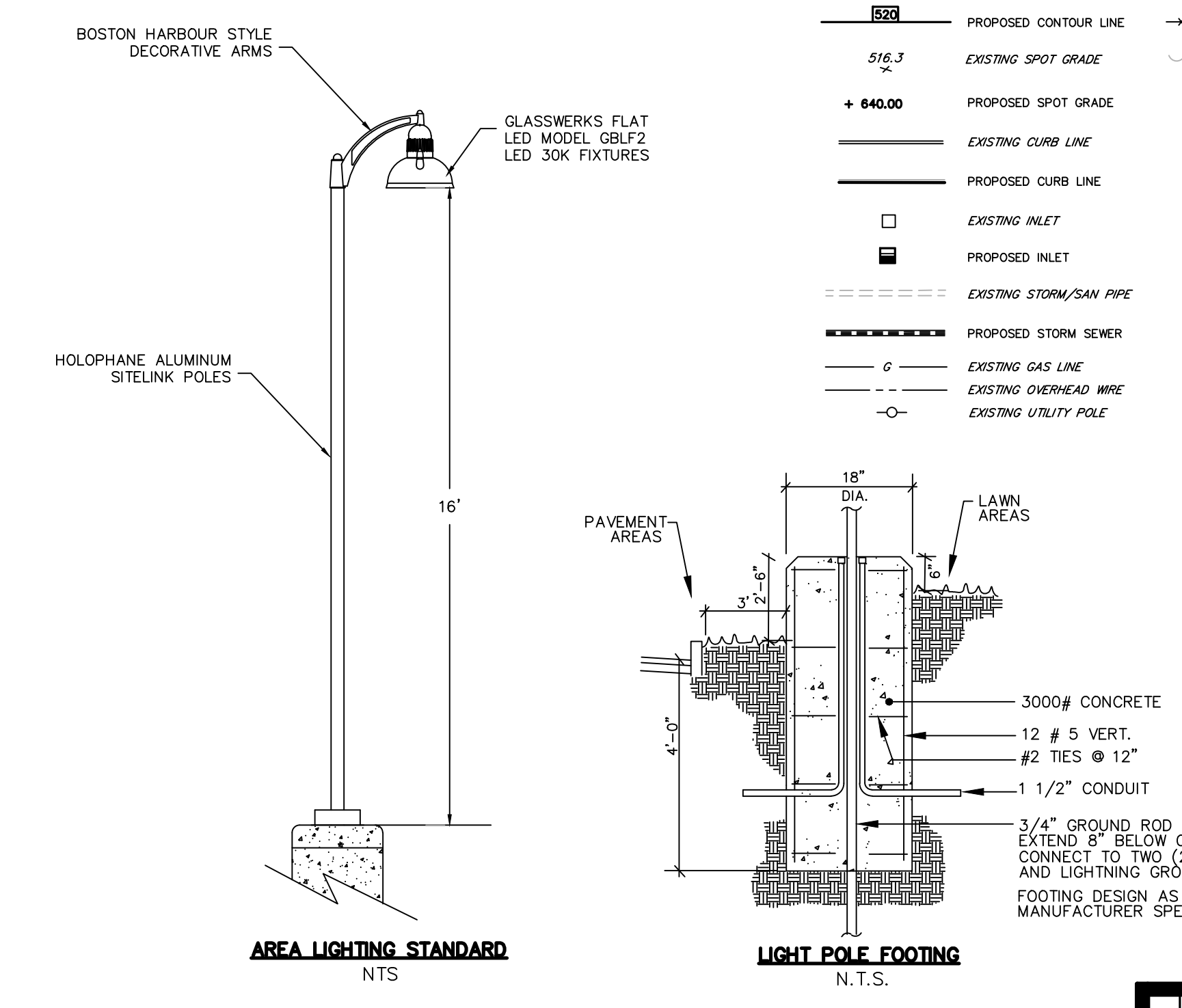


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NO.	DATE	REVISION
DRAWN BY: JSK		SCALE: 1" = 20'
CHKD BY: PWF		FILE: \201051\201051_BASEMAP
PAUL W. FERRIERO N.J. PROFESSIONAL ENGINEER NO. GE 32978		
180 MAIN STREET P.O. BOX 571 CHESTER, NEW JERSEY 07930 908-879-6209 CERTIFICATE OF AUTHORIZATION 246A27935400		
LANDSCAPING PLAN		
TAX LOT 6.01 BLOCK 1201 TOWN OF DOVER MORRIS COUNTY NEW JERSEY		
SHEET 5 OF 9		
DATE:	9/16/21	PROJECT NO:
REVISION:		201051



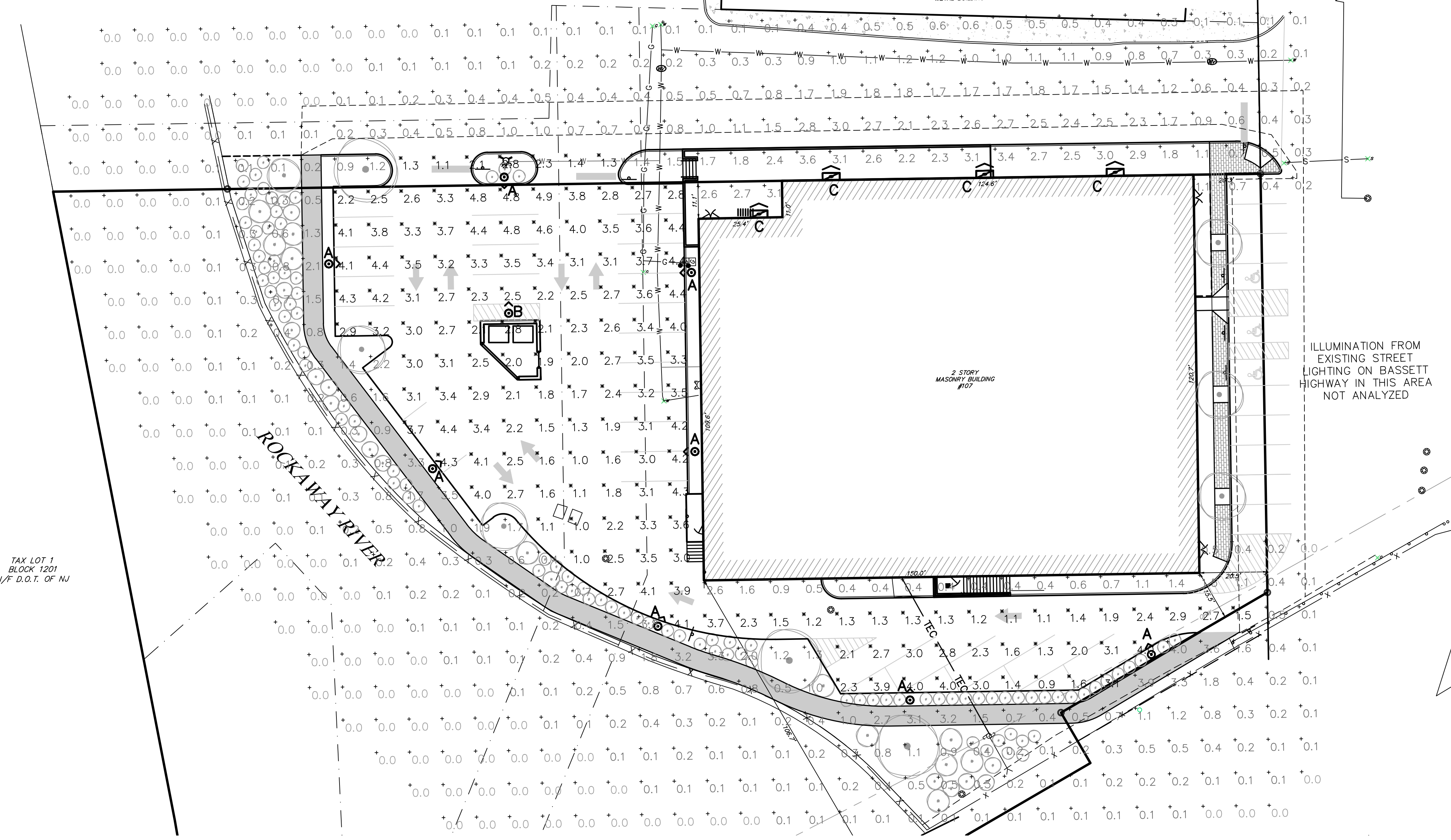
BUILDING MOUNTED LIGHTING STANDARD
 NTS
 NOTE: BUILDING MOUNTED SITE LIGHTS SHALL BE HOLOPHANE WALLPACK FULL CUTOFF LED MODEL HLWPC2 (16' MOUNTING HEIGHT).



LEGEND

--- 54.0 ---	EXISTING CONTOUR LINE	-----	EXISTING STONE WALL
---	PROPOSED CONTOUR LINE	-----	EXISTING FENCE
516.3	EXISTING SPOT GRADE	-----	EXISTING TREE LINE
+ 640.00	PROPOSED SPOT GRADE	-----	EXISTING DECIDUOUS TREE
---	EXISTING CURB LINE	-----	EXISTING EVERGREEN TREE
---	PROPOSED CURB LINE	-----	EXISTING SHRUB
□	EXISTING INLET	-----	EXISTING TREE TO BE REMOVED
■	PROPOSED INLET	-----	PROPOSED DECIDUOUS TREE
---	EXISTING STORM/SAN PIPE	-----	INLET SEDIMENT CONTROL DEVICE
---	PROPOSED STORM SEWER	-----	SILT FENCE
G	EXISTING GAS LINE	-----	TOPSOIL STOCKPILE
---	EXISTING OVERHEAD WIRE	-----	LIMIT OF DISTURBANCE
---	EXISTING UTILITY POLE	-----	PROPOSED SIGN

TAX LOT 6
 BLOCK 1201
 N/F 63-105 BASSETT
 HWY, LLC
 D.B. 21546, PG. 15320



Note
 Holophane Base Ext -
 1. Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
 2. Please refer to the "luminaire locations" table for mounting heights.
 3. Product information can be obtained at www.Holophane.com

LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES AND 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY).
- WHERE APPLICABLE, THE EXISTING CONDITION IGT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.
- FOOTCANDLE VALUES EVALUATED FOR PROPOSED SITE LIGHTING ONLY.
- ALL LIGHTS SHALL OPERATE PHOTOCELL ON/OFF.

SPECIFICATIONS

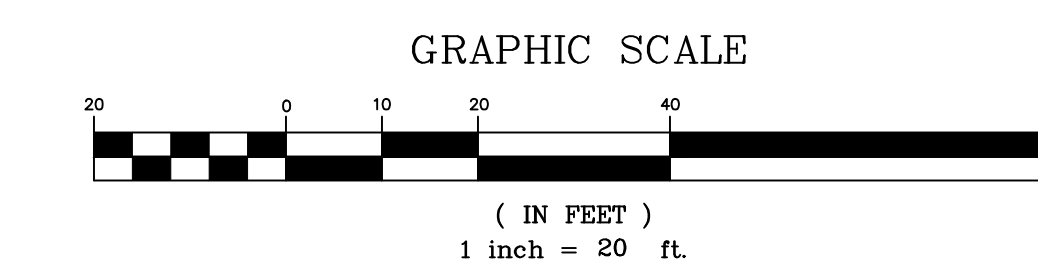
POST DESCRIPTION:
 THE LIGHTING POST SHALL BE ALUMINUM, ONE-PIECE CONSTRUCTION, WITH A CAST SHOE BASE. THE SHAFT PROFILE SHALL CONSIST OF FOUR MOUNTING TRACKS AND CHANNELS. THE POST SHALL BE PROVIDED WITH (2) GF RECEPTACLE WITH SMALL, IN-USE WEATHERPROOF COVER, SITELINK BOSTON HARBOR 48" ROADWAY ARMS THAT MOUNT TO THE SIDE OF THE POLE, BOSTON HARBOR OSM LEVELING FITTERS, (1) COLUMBIA 026" CAST ALUMINUM CLAMHELL BASE, (1) SITELINK TRANSITION COLLAR, (1) OTF POST-TOP FINIAL, AND GASKET AND GROMMET KIT.

MATERIALS:
 THE BASE SHALL BE HEAVY WALL, CAST ALUMINUM PRODUCED FROM CERTIFIED ASTM 356.1 INgot PER ASTM B-179-95& OR ASTM 826-95. THE SHAFT SHALL BE EXTRUDED FROM ALUMINUM, ASTM 6061ALLOY. ALL HARDWARE SHALL BE STAINLESS STEEL. ANCHOR BOLTS TO BE COMPLETELY HOT DIP GALVANIZED.

CONSTRUCTION:
 THE SHAFT SHALL BE DOUBLE WELDED TO THE BASE CASTING AND SHIPPED AS ONE PIECE FOR MAXIMUM STRUCTURAL INTEGRITY. THE SHAFT SHALL BE WELDED INSIDE THE BASE CASTING AT THE TOP OF THE ACCESS DOOR, AND EXTERNALLY WHERE THE SHAFT EXISTS THE BASE. ALL WELDING SHALL BE PER ANSI/AWS.

INSTALLATION:
 THE POST SHALL USE FOUR 01.25" HOT DIP GALVANIZED L-TYPE ANCHOR BOLTS. A DOOR SHALL BE PROVIDED IN THE BASE FOR ANCHORAGE AND WIRING ACCESS. A GROUNDING SCREW SHALL BE PROVIDED INSIDE THE BASE OPPOSITE THE DOOR.

FINISH:
 THE POST ASSEMBLY SHALL BE FINISHED WITH STANDARD HOLOPHANE BLACK.



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency	Distribution
⊙	A	8	Holophane	GBLF2 P30 30K XX X X FC4	GlasWerks LED Bern - Flat Glass, LED Package 30, 3000K, Type 4 distribution	1	7728	0.9	77	100%	TYPE III, SHORT, BUG RATING: B2 - U0 - G2
⊙	B	1	Holophane	GBLF2 P30 30K XX X X FC5	GlasWerks LED Bern - Flat Glass, LED Package 30, 3000K, Type 5 distribution	1	8194	0.9	77	100%	TYPE VS, BUG RATING: B3 - U0 - G2
⊙	C	4	Holophane	HLWPC2 P20 30K XX T4M	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Type IV Medium	1	5219	0.92	47	100%	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G2

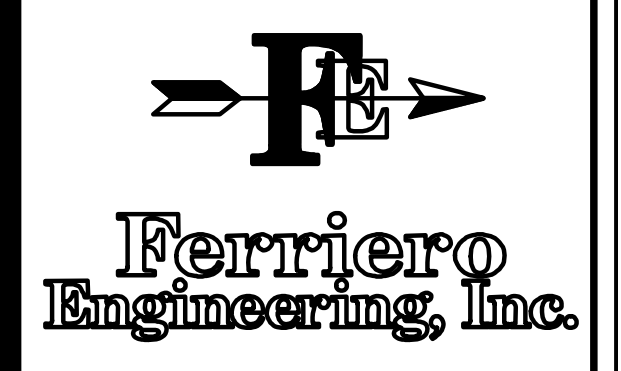
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking - Driveway	X	2.8 fc	4.9 fc	0.9 fc	5.4:1	3.1:1
Spill Light Summary	+	0.8 fc	4.9 fc	0.0 fc	N/A	N/A

NO.	DATE	REVISION

DRAWN BY: JSK SCALE: 1" = 20' FIELD BOOK: -
 CHKD BY: PWF FILE: \201051\201051_BASEMAP

PAUL W. FERRIERO
 N.J. PROFESSIONAL ENGINEER
 NO. GE 32978



180 MAIN STREET P.O. BOX 571
 CHESTER, NEW JERSEY 07930
 908-879-6209
 CERTIFICATE OF AUTHORIZATION 246A27935400

LIGHTING PLAN

TAX LOT 6.01
 BLOCK 1201
 TOWN OF DOVER
 MORRIS COUNTY
 NEW JERSEY

SHEET
 6 OF 9

DATE: 9/16/21 PROJECT NO: 201051
 REVISION:

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**MORRIS COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF THE SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN-OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE M.C.S.D. MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.

TOPSOIL STOCKPILE PROTECTION

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F.
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS./1000 S.F.
- APPLY PERENNIAL RYEGRASS SEED AT A RATE OF 1 LB./1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
- MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

TEMPORARY STABILIZATION SPECIFICATIONS

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F.
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS./1000 S.F.
- APPLY PERENNIAL RYEGRASS SEED AT A RATE OF 1 LB./1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
- MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

PERMANENT STABILIZATION SPECIFICATIONS

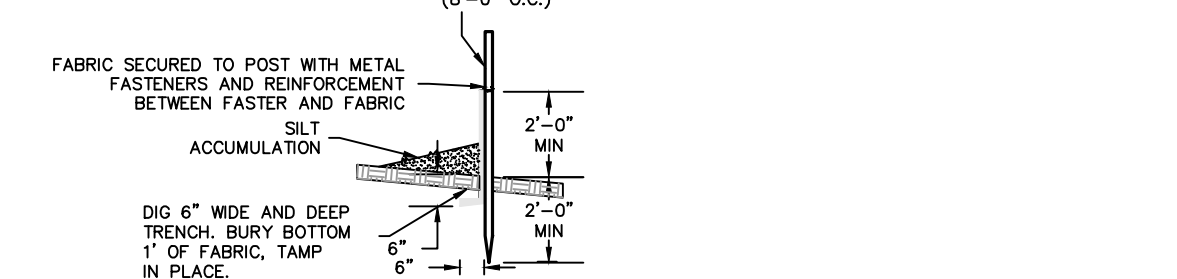
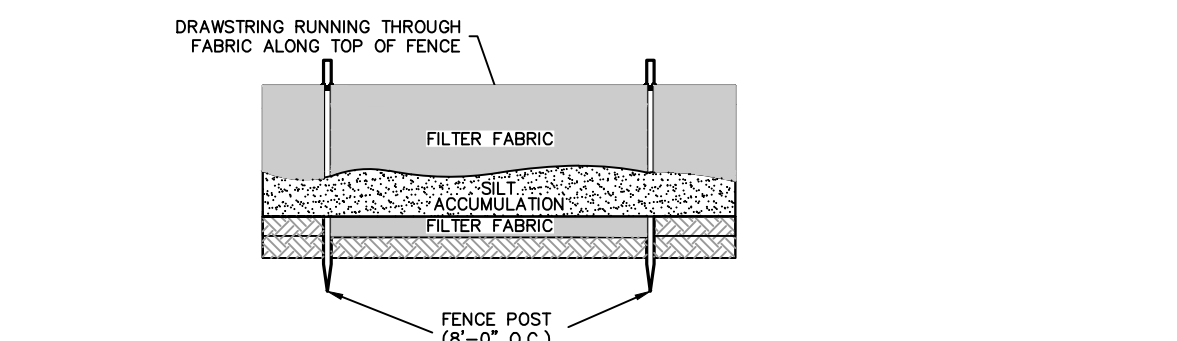
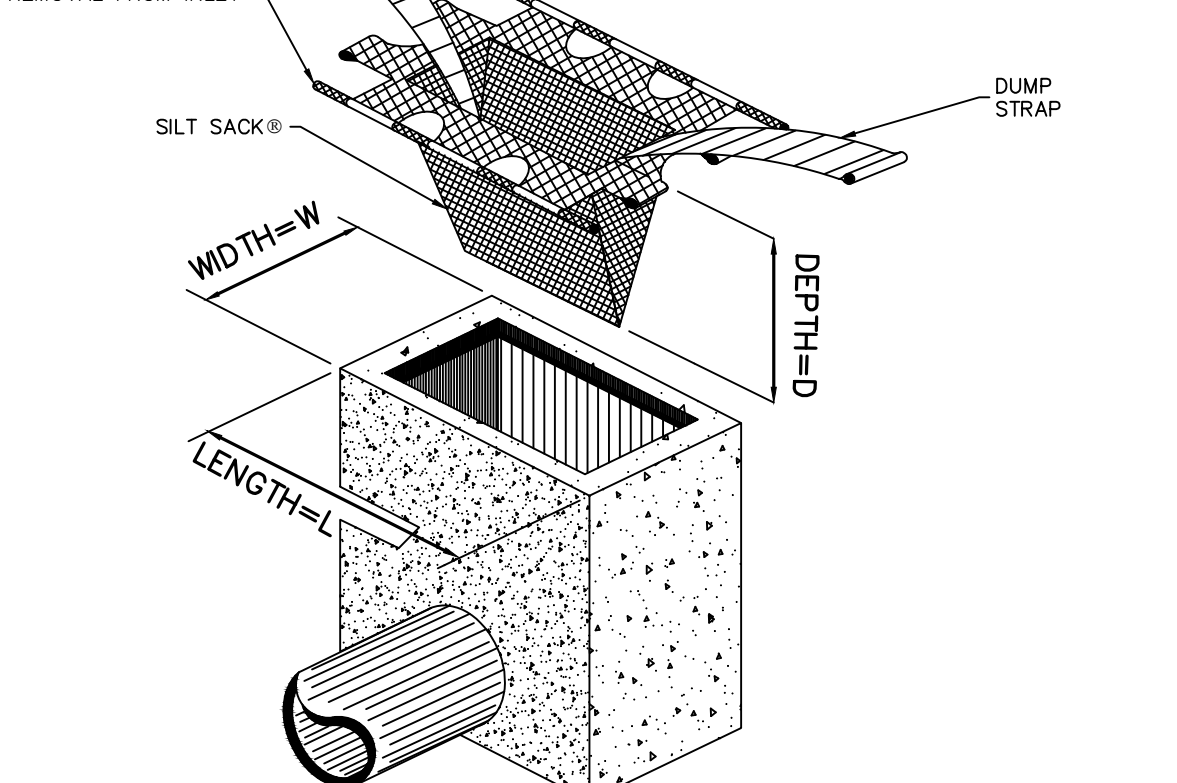
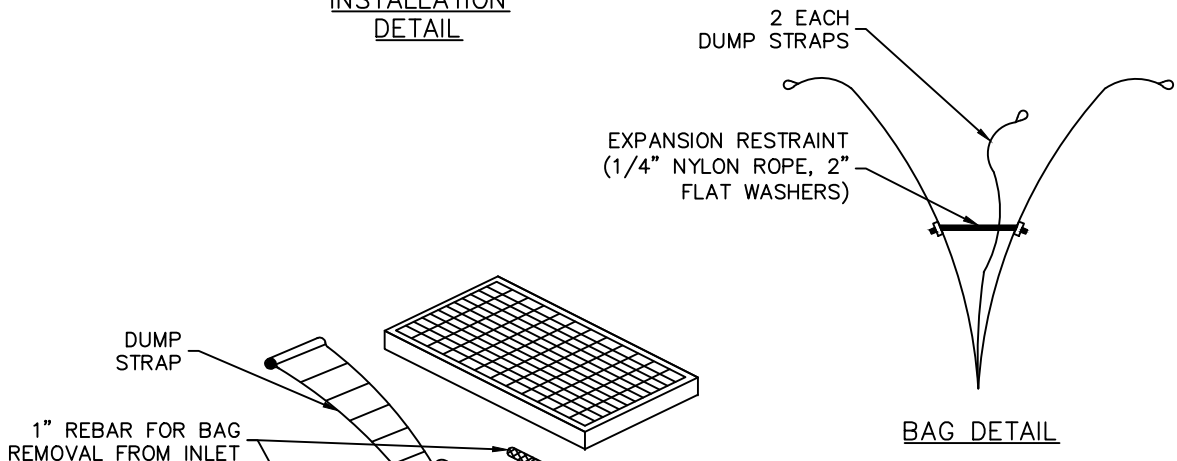
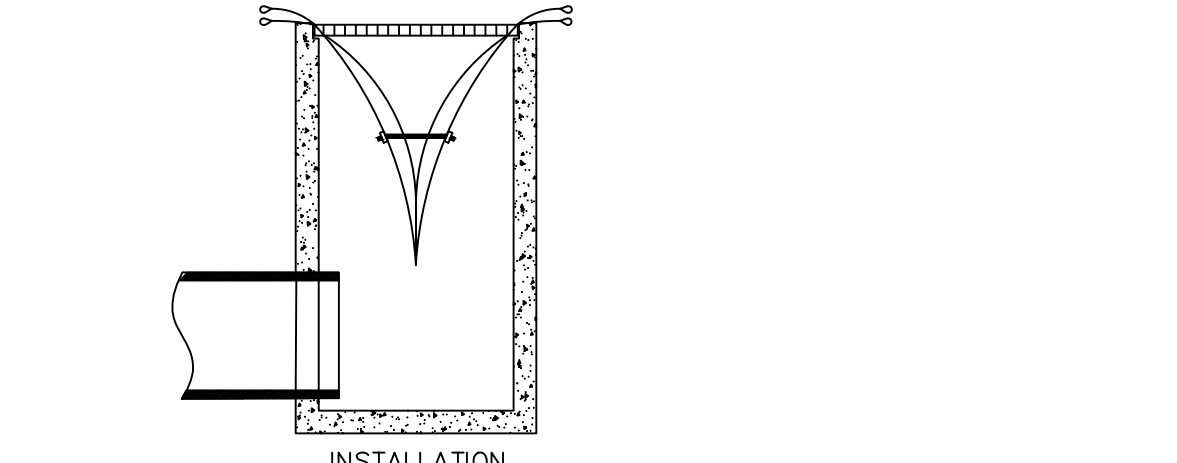
- APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 S.F. AND WORK FOUR INCHES INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS./1000 S.F.
 - APPLY HARD FESCUE SEED AT 2.7 LBS./1000 S.F. AND CREEPING RED FESCUE SEED AT 0.7 LBS./1000 S.F. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS./1000 S.F.
 - MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE TOWNSHIP ENGINEER & MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

DUST CONTROL

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
 MULCHES: SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (Pg. 5-1).
 VEGETABLE COVER: SEE STANDARDS FOR:
 TEMPORARY VEGETATIVE COVER-Pg.7-1
 PERMANENT VEGETATIVE COVER-Pg.4-1
 PERMANENT STABILIZATION WITH SOD-Pg.6-1
 SPRAY-ON ADHESIVES: ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF AREAS.

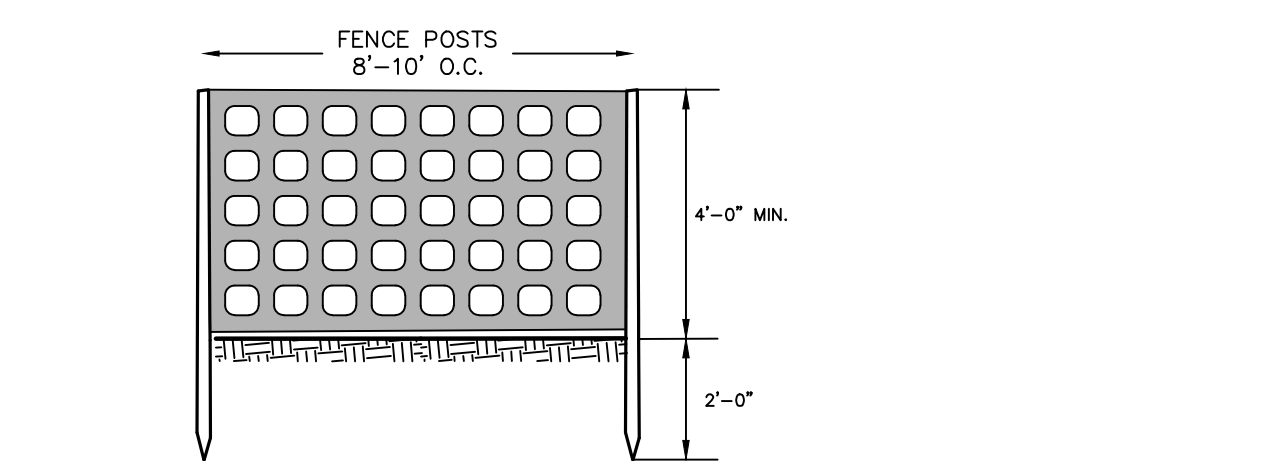
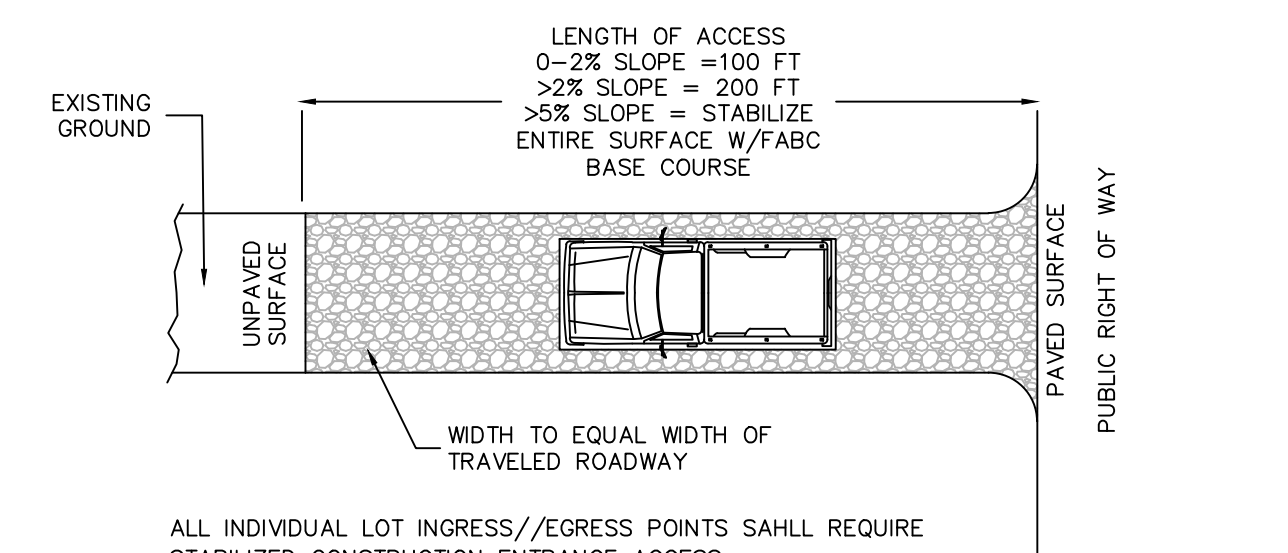
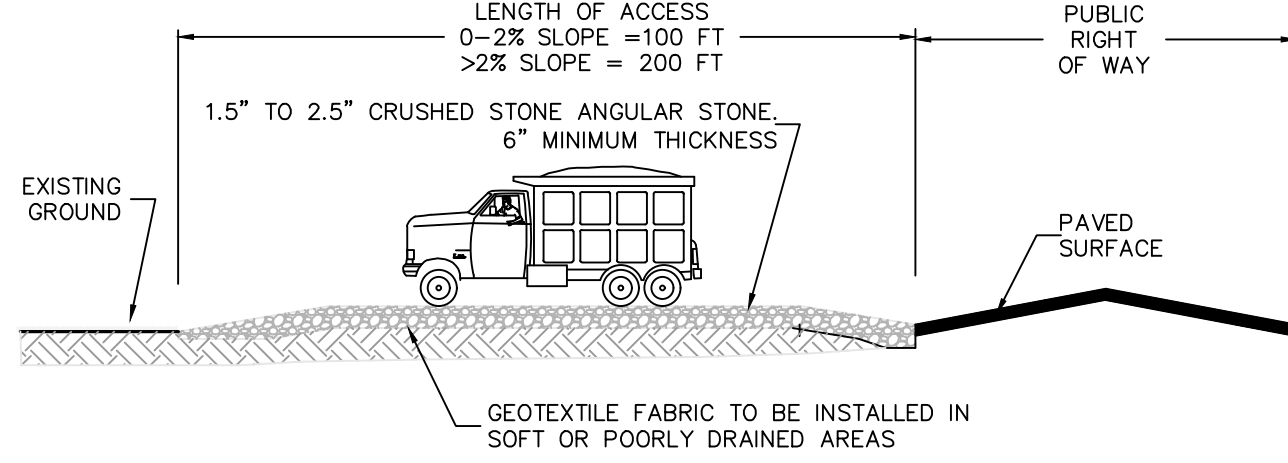
	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL./ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ADJULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE: TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
BARRIERS: SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SILT BLOWING.
CALCIUM CHLORIDE: SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEP SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
STONE: COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



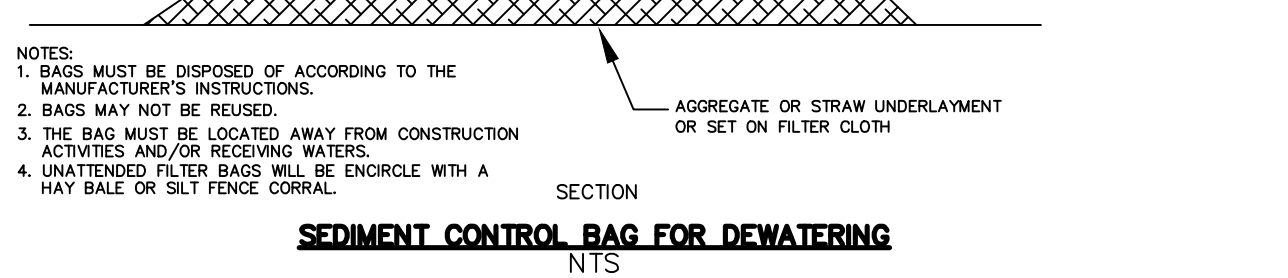
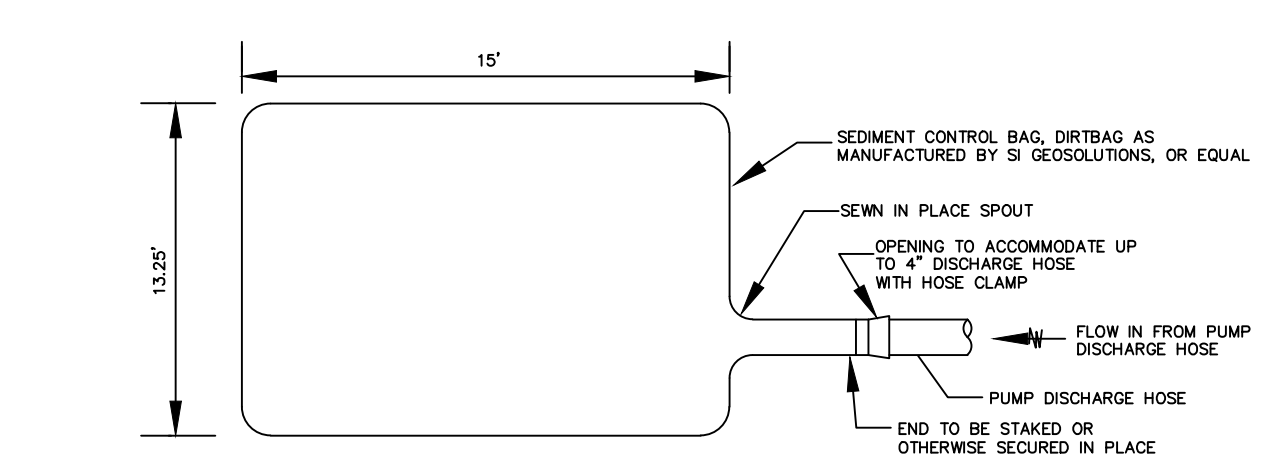
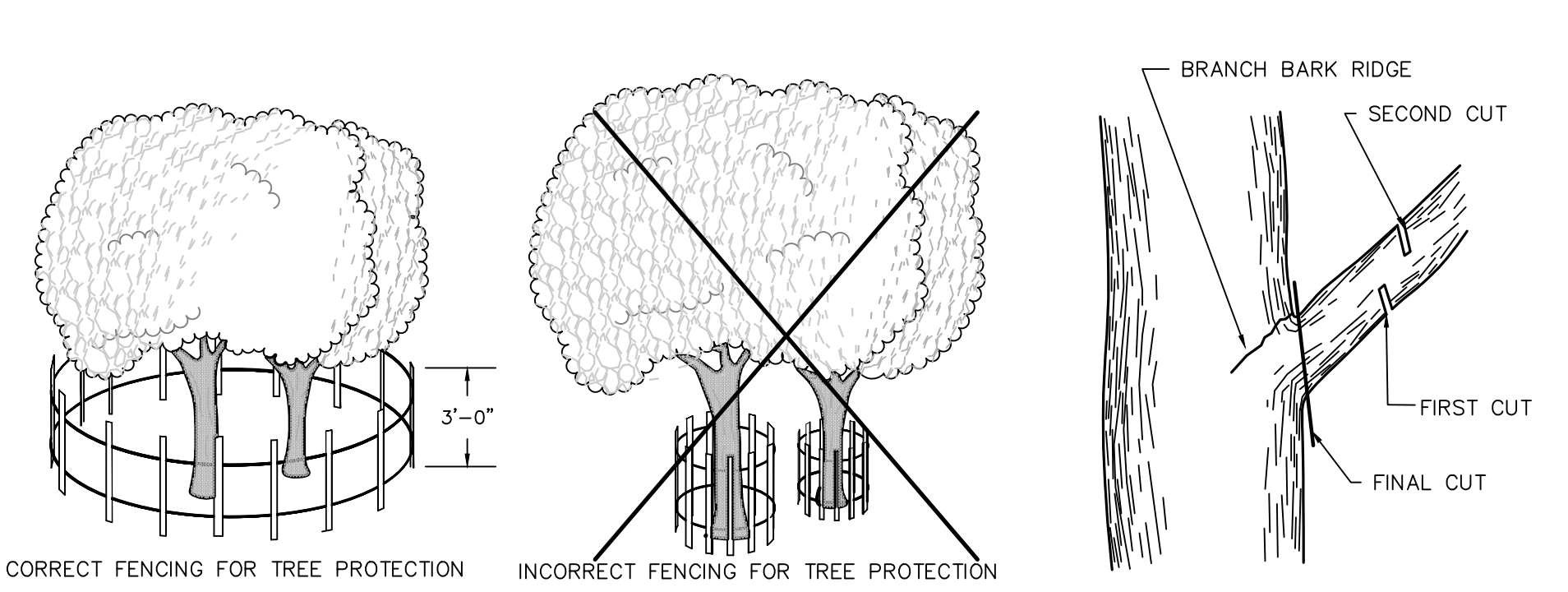
PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



SEQUENCE OF CONSTRUCTION

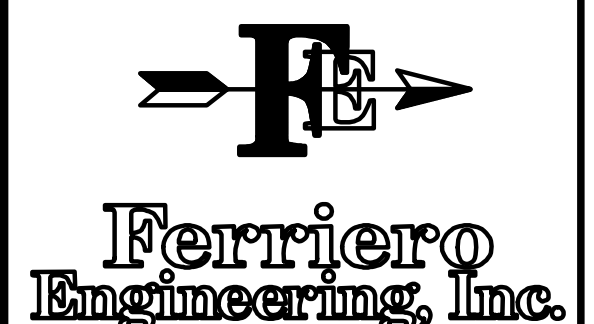
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|--|---------------|
| 1. NOTIFY THE TOWN & SOIL CONSERVATION DISTRICT IN WRITING 72 HOURS IN ADVANCE OF WORK. | 3 DAYS NOTICE |
| 2. INSTALL SILT FENCE | 1 DAY |
| 3. INSTALL STABILIZED CONSTRUCTION ACCESS | 1 DAY |
| 4. DEMOLITION & SITE PREPARATION | 1 MONTH |
| 5. BEGIN BUILDING RENOVATION | 6 MONTHS |
| 6. TOPSOIL & MATERIAL STOCKPILING | 1 DAY |
| 7. ROUGH GRADE SITE | 1 WEEK |
| 8. CONSTRUCT UNDERGROUND UTILITIES | 3 DAYS |
| 9. CONSTRUCT CURB AND SIDEWALKS | 2 WEEKS |
| 10. CONSTRUCT SUBBASE & STABILIZED BASE COURSE | 1 WEEK |
| 11. SCARIFY SUBSOIL IN LANDSCAPED AREAS TO A MINIMUM DEPTH OF 6" TO MITIGATE SOIL COMPACTION | 1 DAY |
| 12. INSTALL FINAL LANDSCAPING & STABILIZATION | 1 WEEK |
| 13. CONSTRUCT ROADWAY TOP COURSE UPON COMPLETION OF BUILDING CONSTRUCTION | 2 DAYS |
| 14. REMOVE TEMPORARY SEDIMENT CONTROL MEASURES | 1 DAY |



NO.	DATE	REVISION

DRAWN BY: JSK AS SHOWN
 SCALE: AS SHOWN
 FIELD BOOK: -
 CHKD BY: PWF
 FILE: \201051\201051_BASEMAP

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 NO. GE 32978

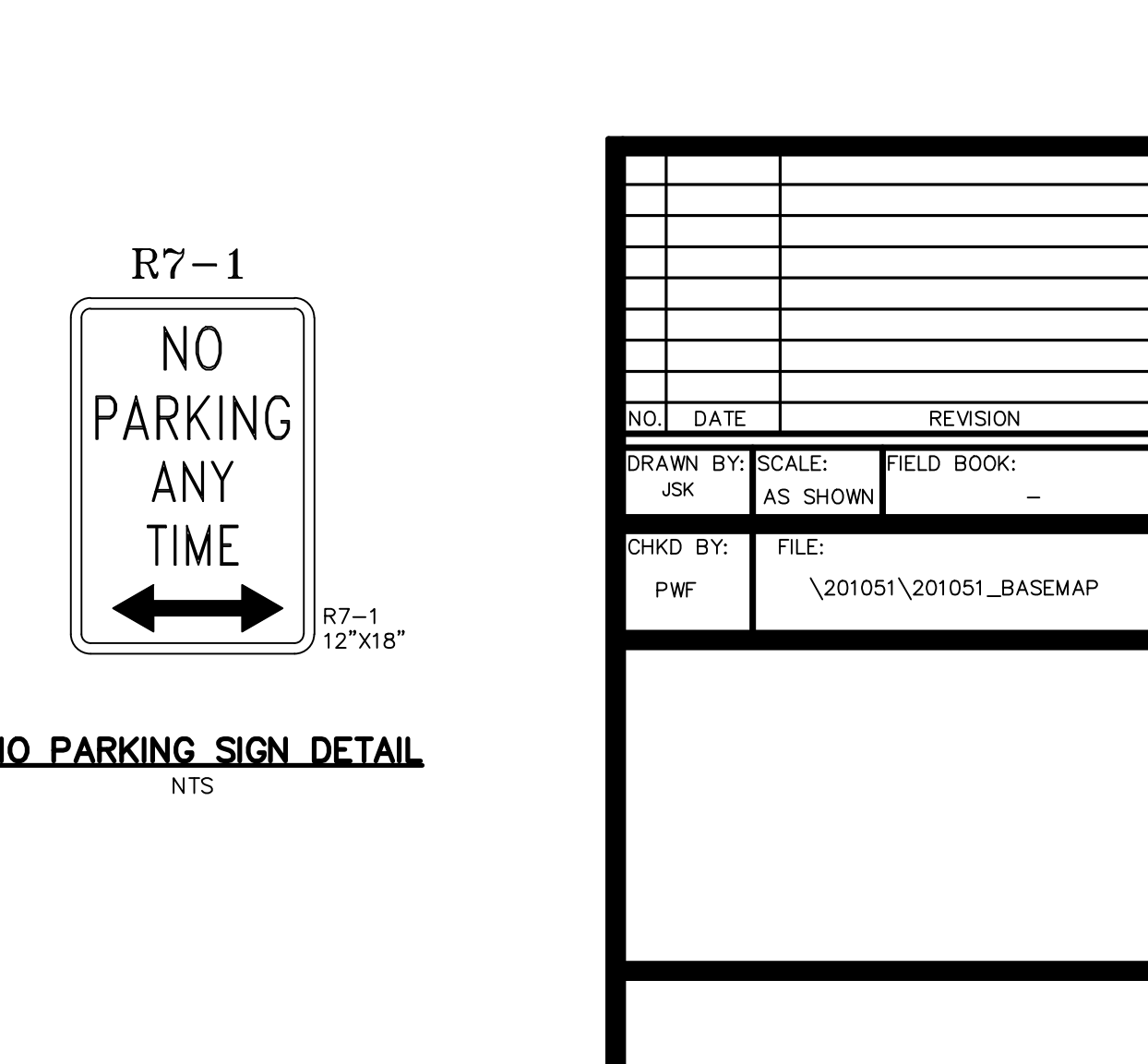
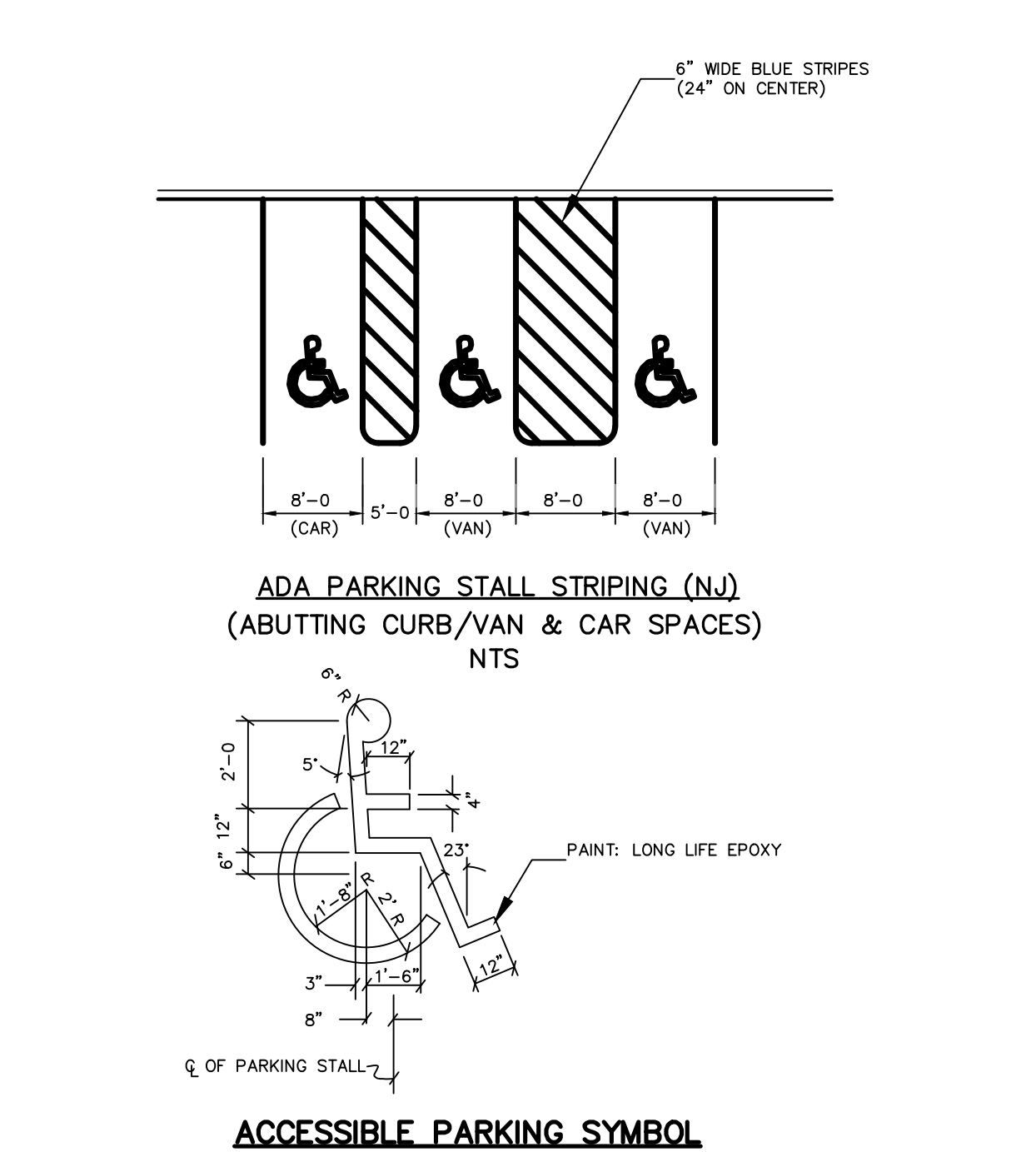
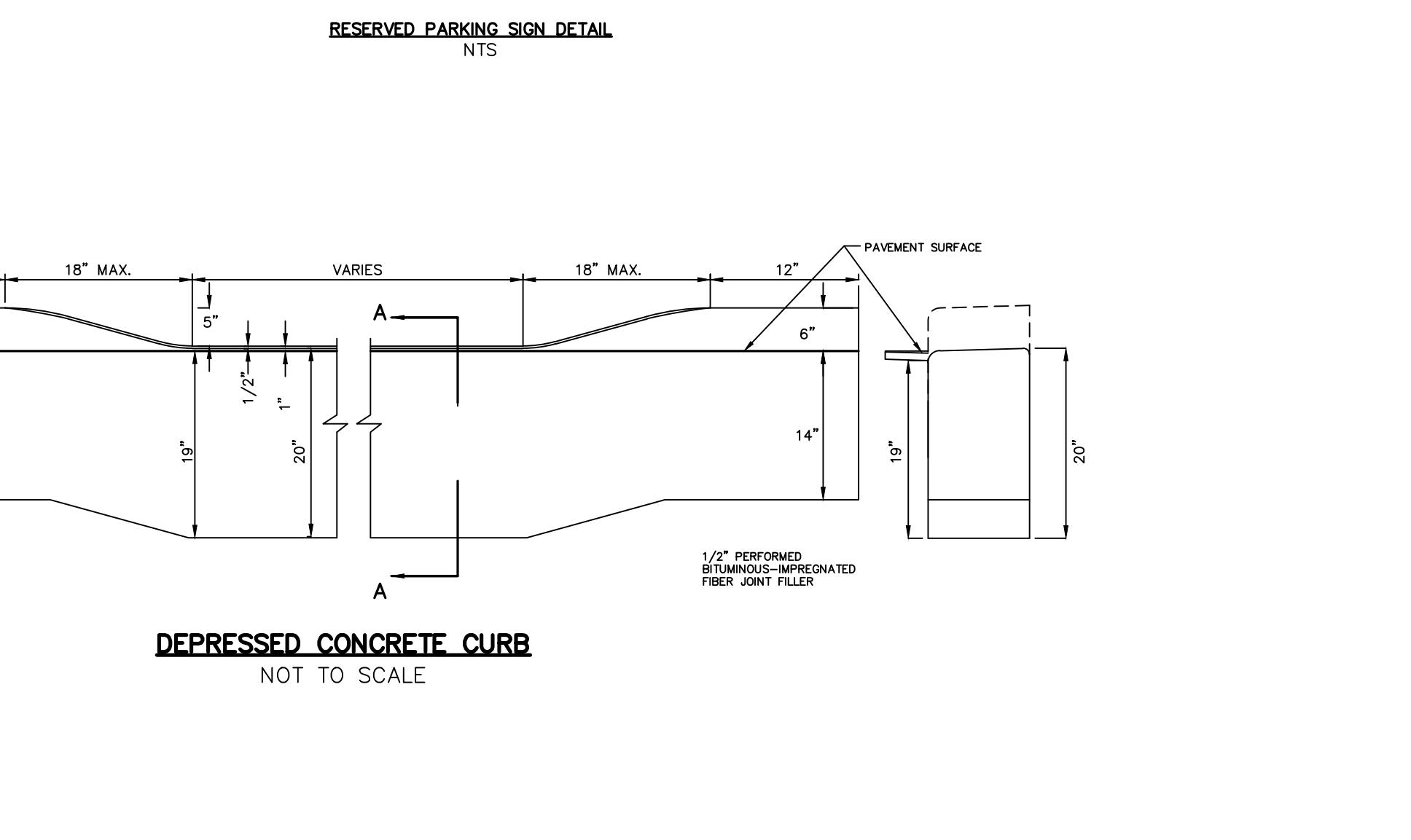
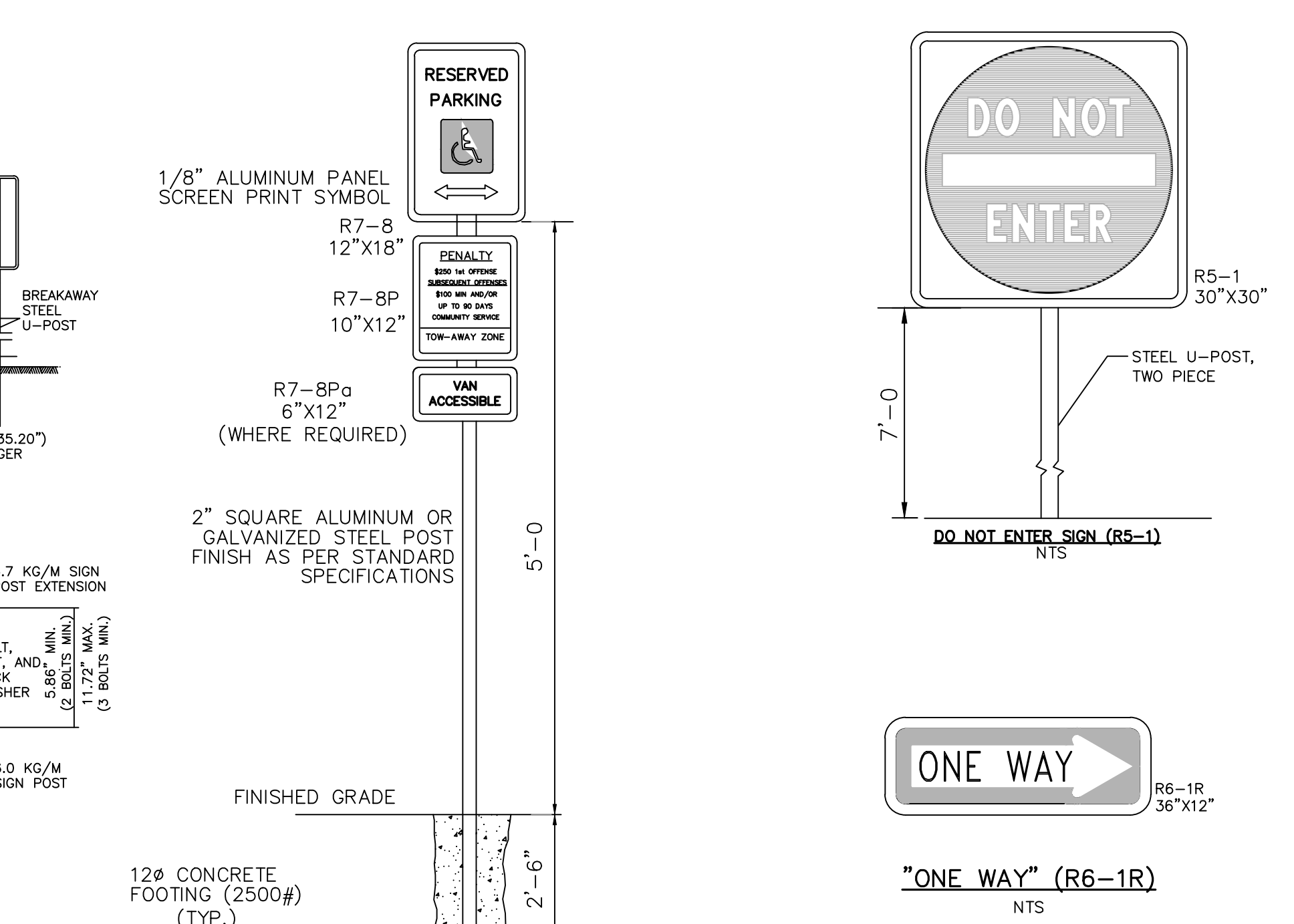
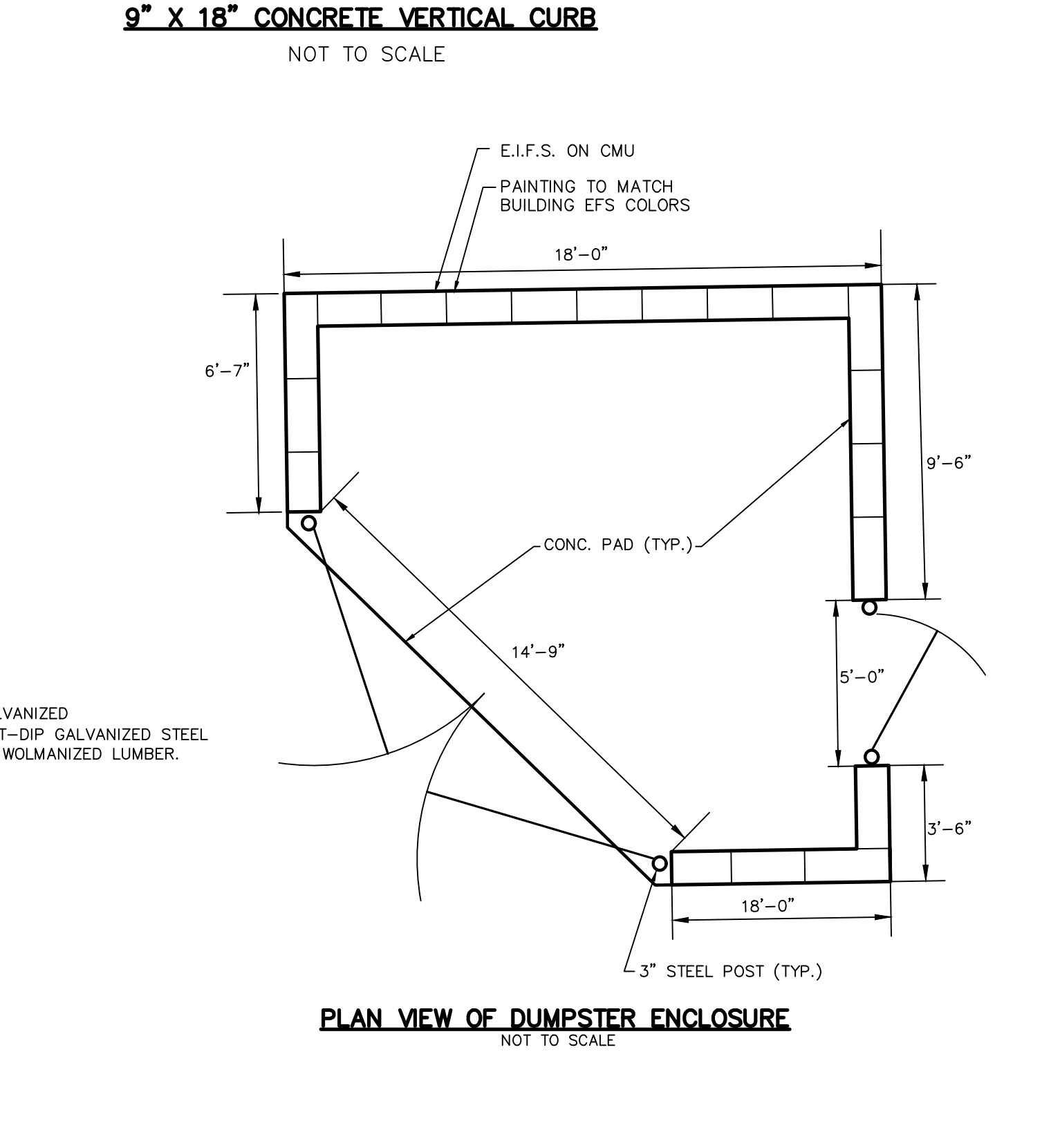
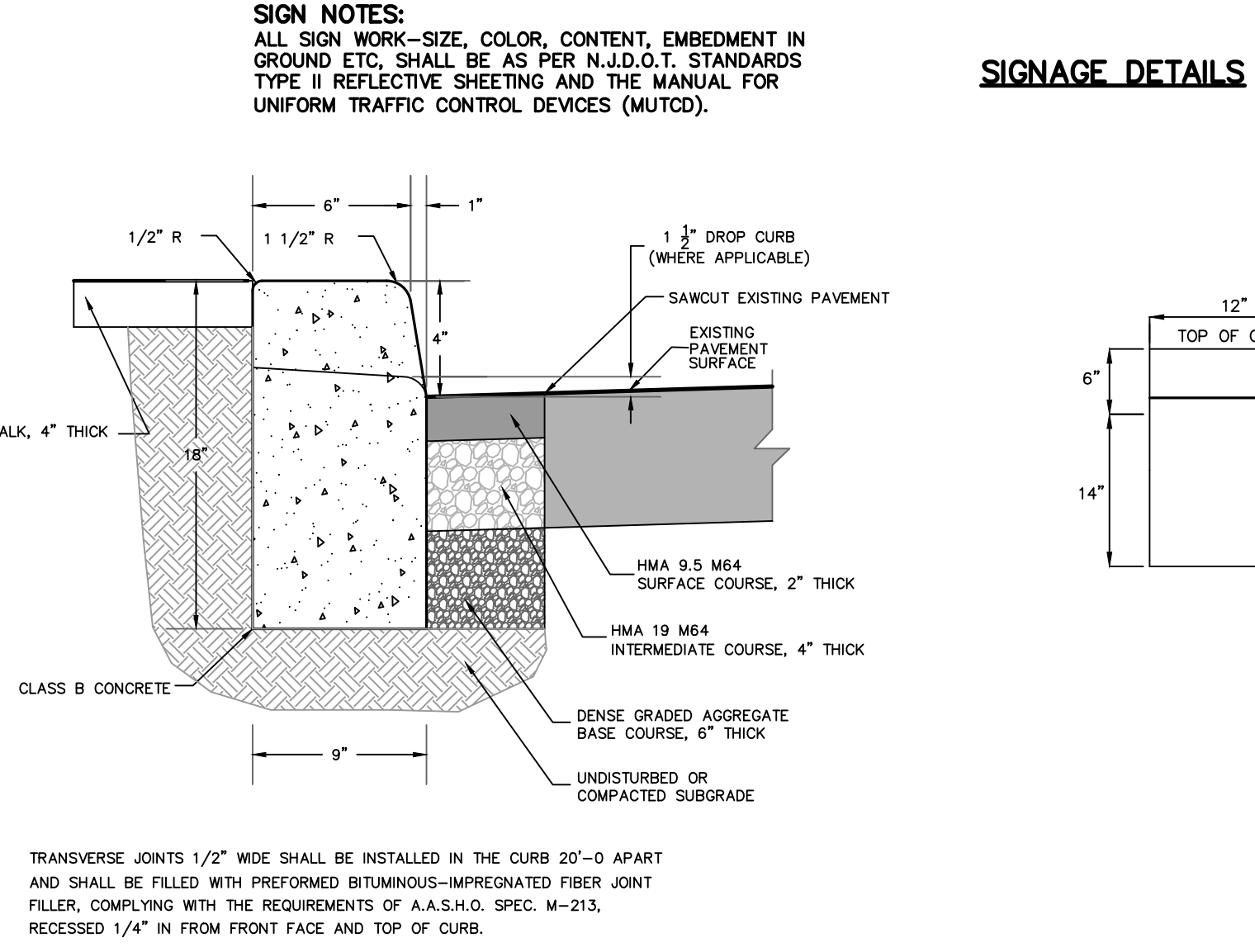
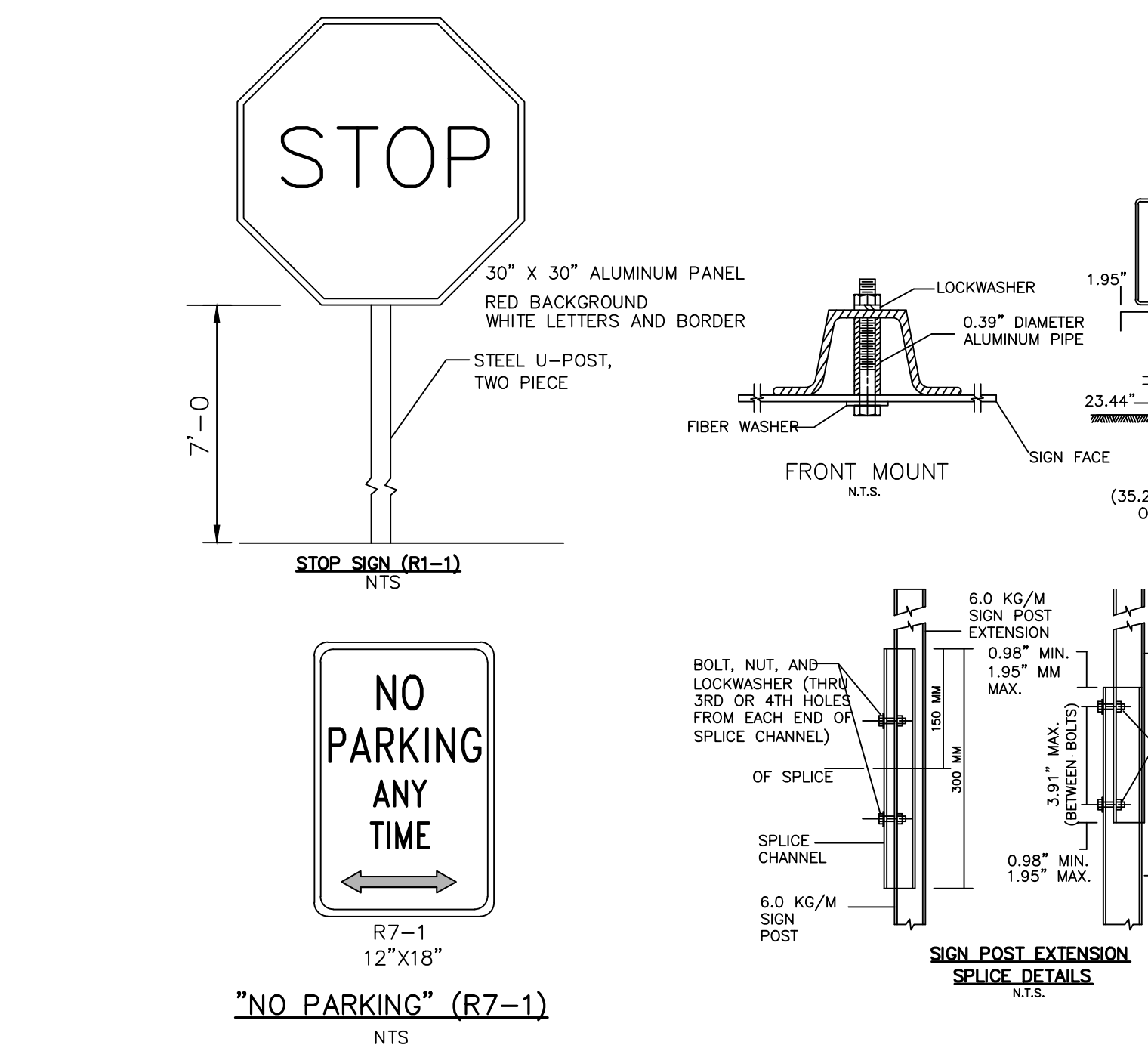
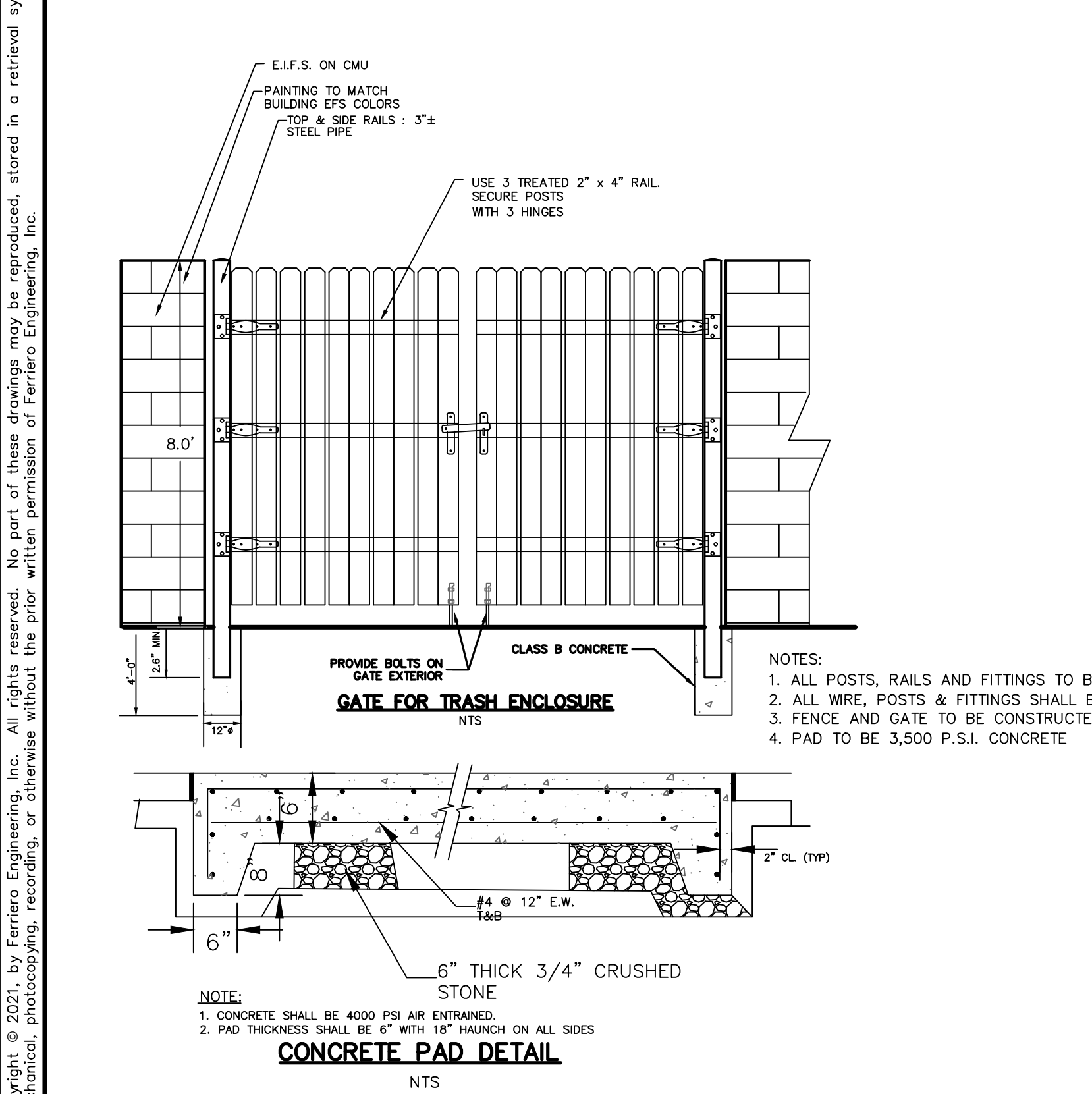
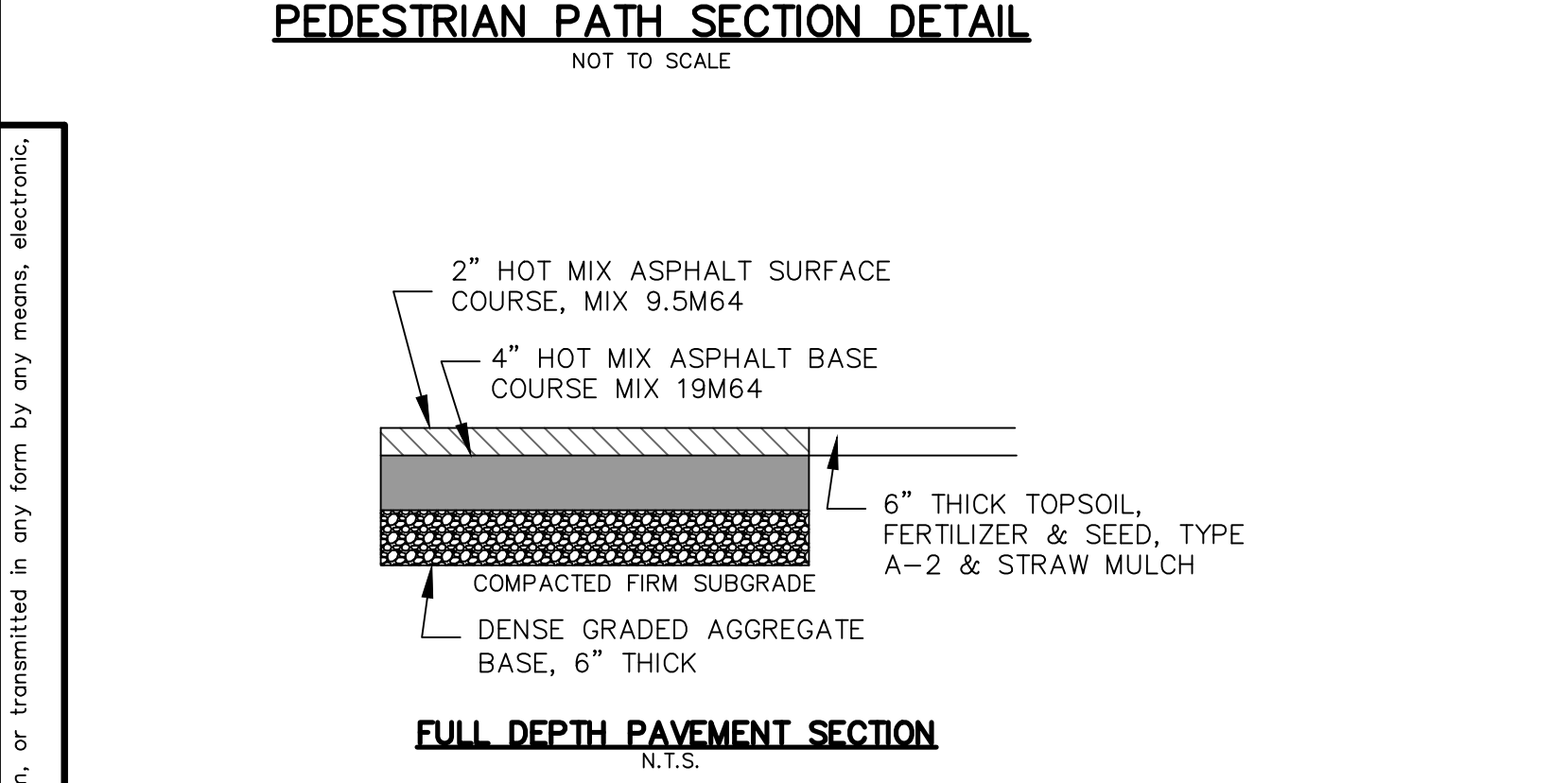
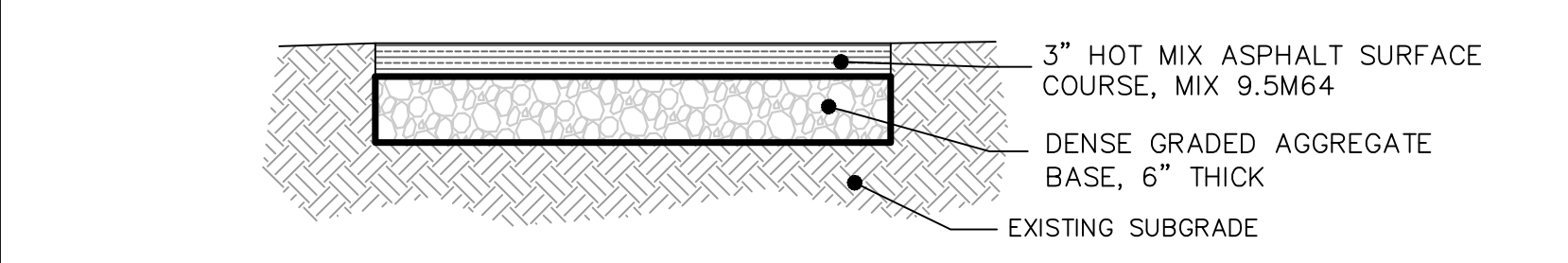
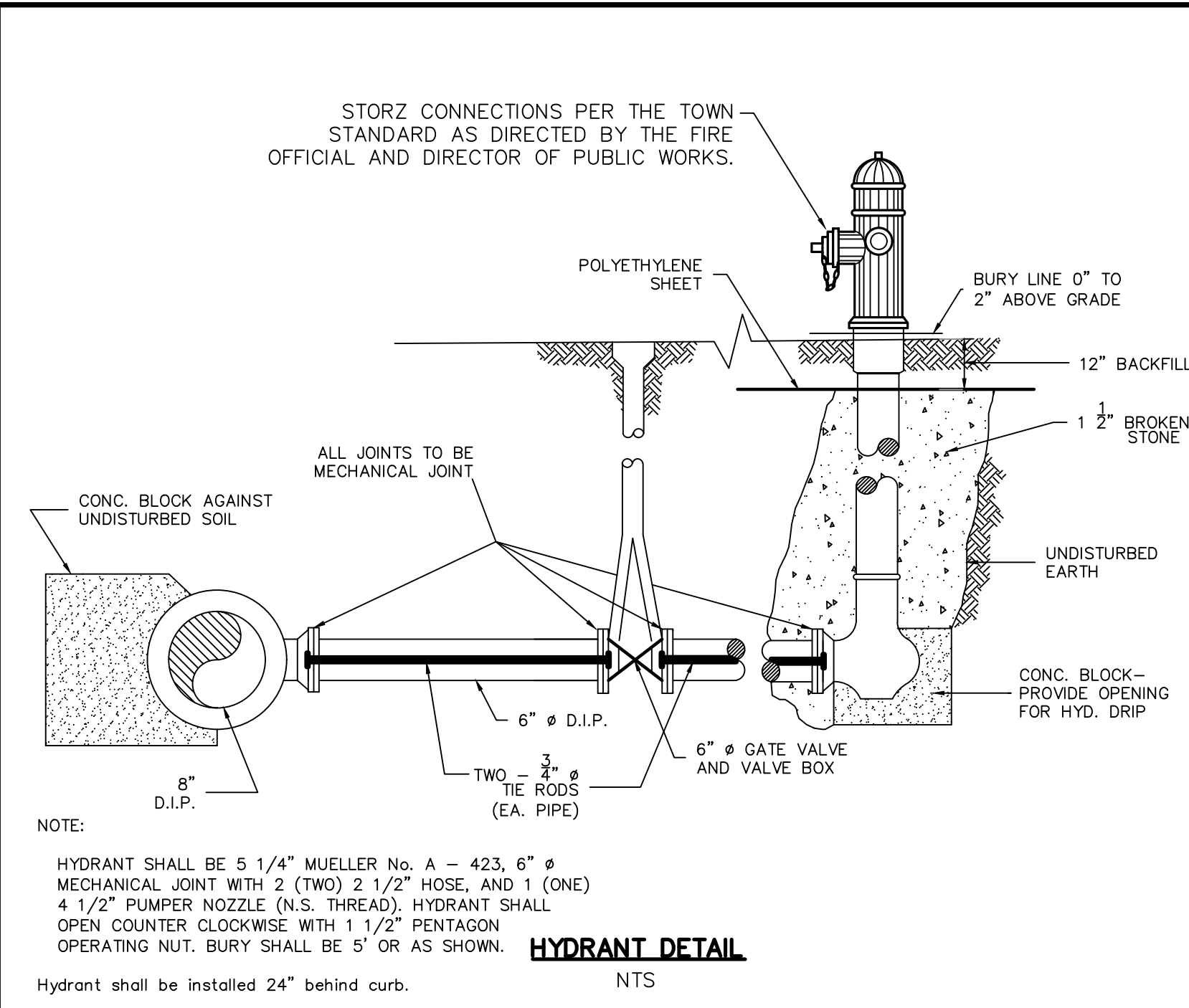


180 MAIN STREET P.O. BOX 571
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 908-879-6209
 CERTIFICATE OF AUTHORIZATION 246A27935403

SOIL EROSION & SEDIMENT CONTROL DETAILS

TAX LOT 6.01
 BLOCK 1201
 TOWN OF DOVER
 MORRIS COUNTY
 NEW JERSEY

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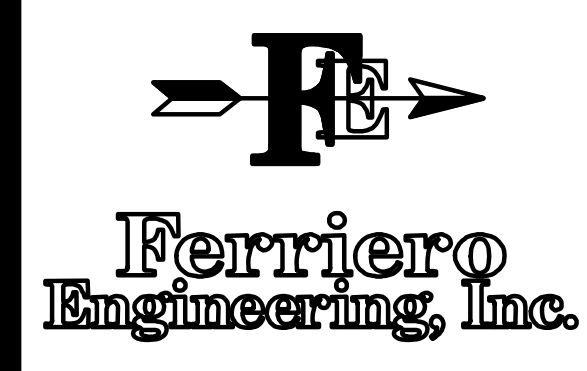


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SCALE: AS SHOWN
FIELD BOOK: -

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PAUL W. FERRIERO
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180 MAIN STREET P.O. BOX 571
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CERTIFICATE OF AUTHORIZATION 246A27935400

CONSTRUCTION DETAILS

TAX LOT 6.01
BLOCK 1201
TOWN OF DOVER
MORRIS COUNTY
NEW JERSEY

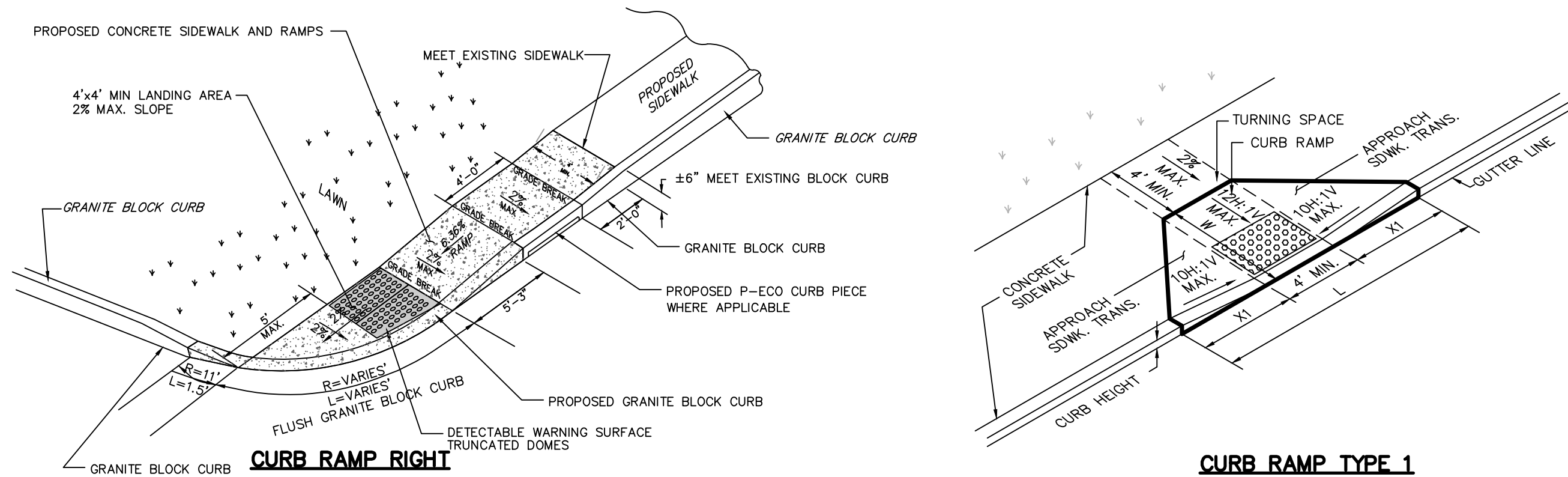
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8 OF 9

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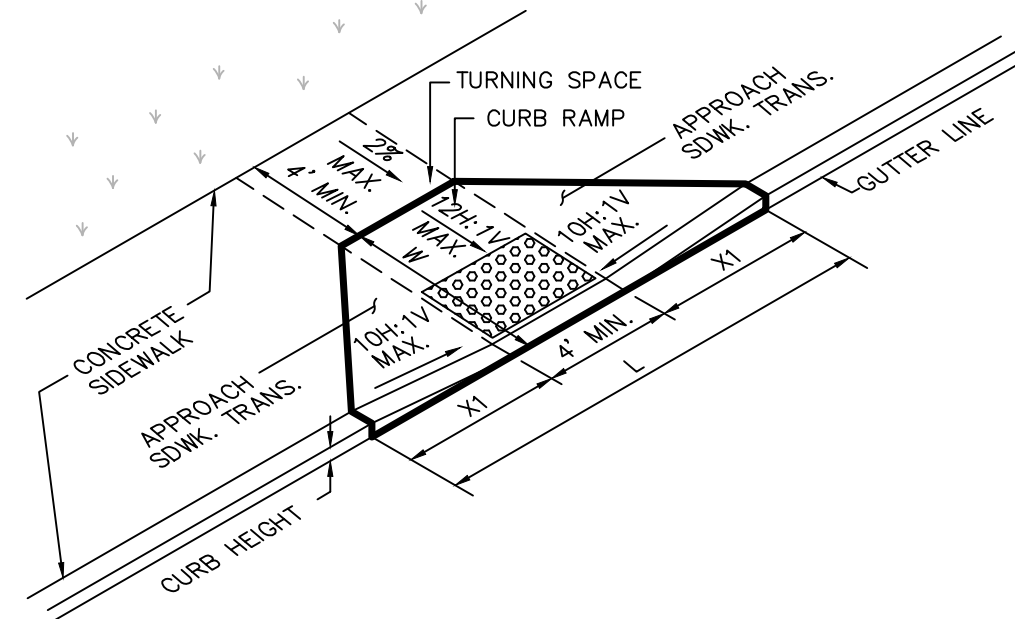
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- IMPORTANT NOTES:**
- ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. 12101 et seq. AND 42 U.S.C. 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
 - THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, THE CONTRACT DOCUMENTS, AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
 - THESE PLANS ARE BASED ON INFORMATION PROVIDED TO FERRIERO ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY FERRIERO ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.
 - THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND PROVIDE A SAFE WORK AREA.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OR ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION. ALL DAMAGE MUST BE DISCLOSED TO OWNER.
 - ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
 - THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.
 - FERRIERO ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FERRIERO ENGINEERING SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT FERRIERO ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. FERRIERO ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. FERRIERO ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
 - NEITHER THE PROFESSIONAL ACTIVITIES OF FERRIERO ENGINEERING, NOR THE PRESENCE OF FERRIERO ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. FERRIERO ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY.
 - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER AND OWNER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED WITH CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM IS INCLUDED IN THE CONTRACTORS PRICE WHETHER BROKEN OUT AS A LINE ITEM OR NOT.

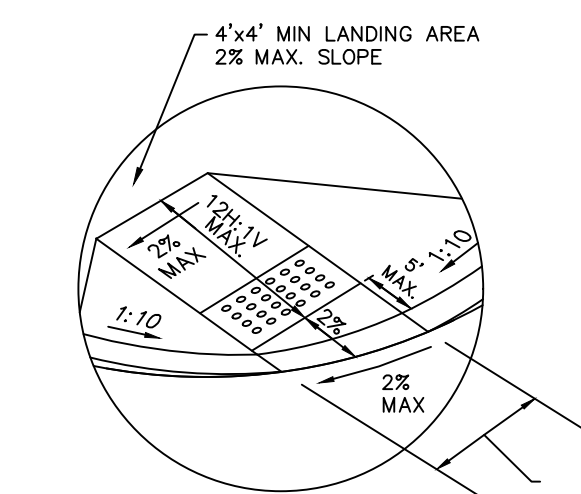
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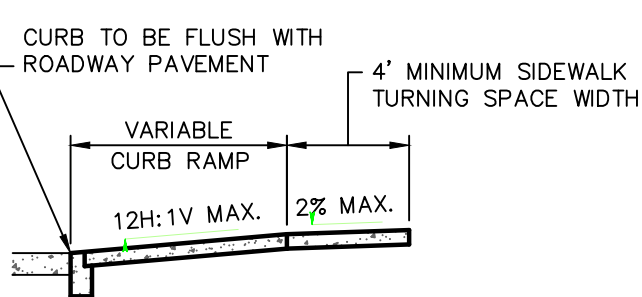
H INCHES	X1 FEET	L1 FEET	W FEET
3	2.5	9.0	3
4	3.3	10.6	4
5	4.2	12.4	5
6	5.0	14.0	6
7	5.8	15.6	7
8	6.7	17.4	8
9	7.5	19.0	9



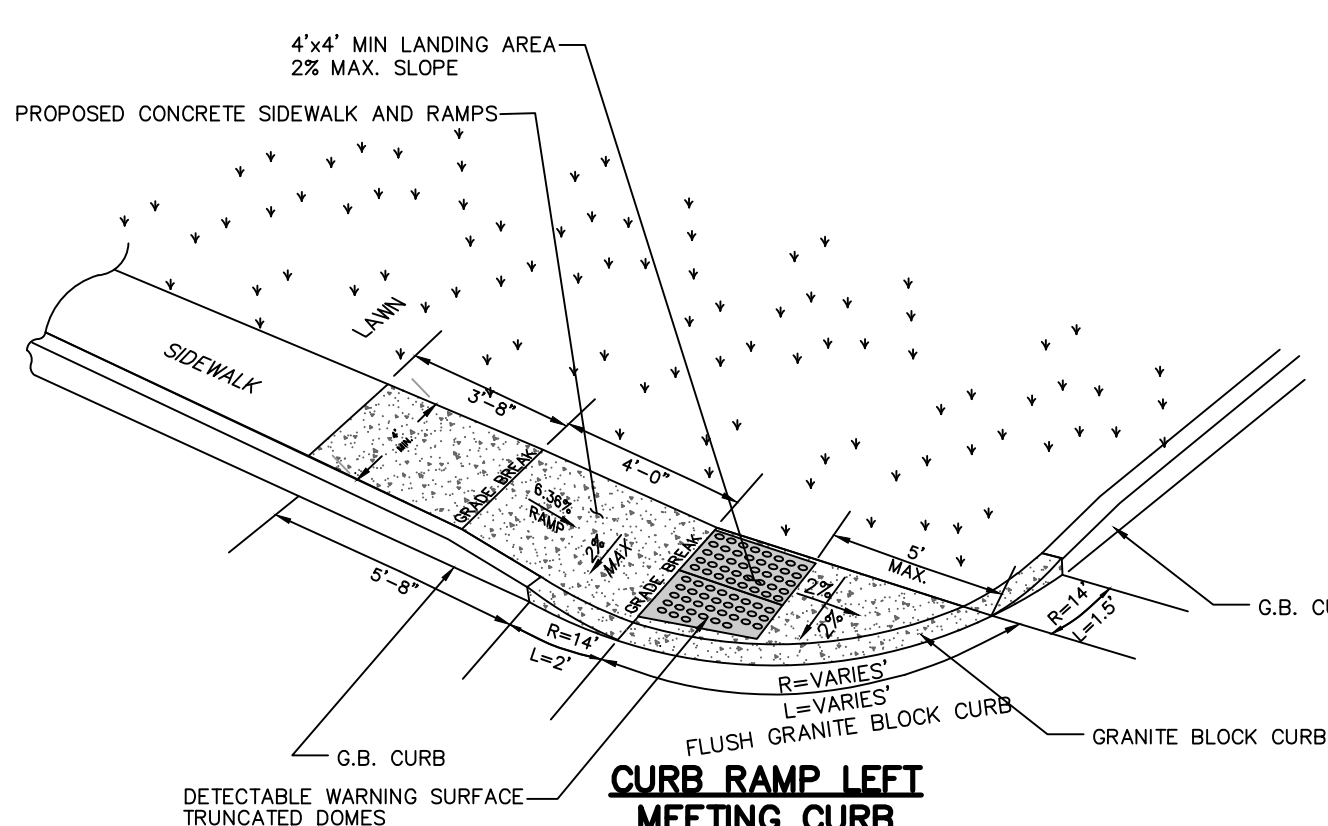
CURB RAMP TYPE 1
NOT TO SCALE



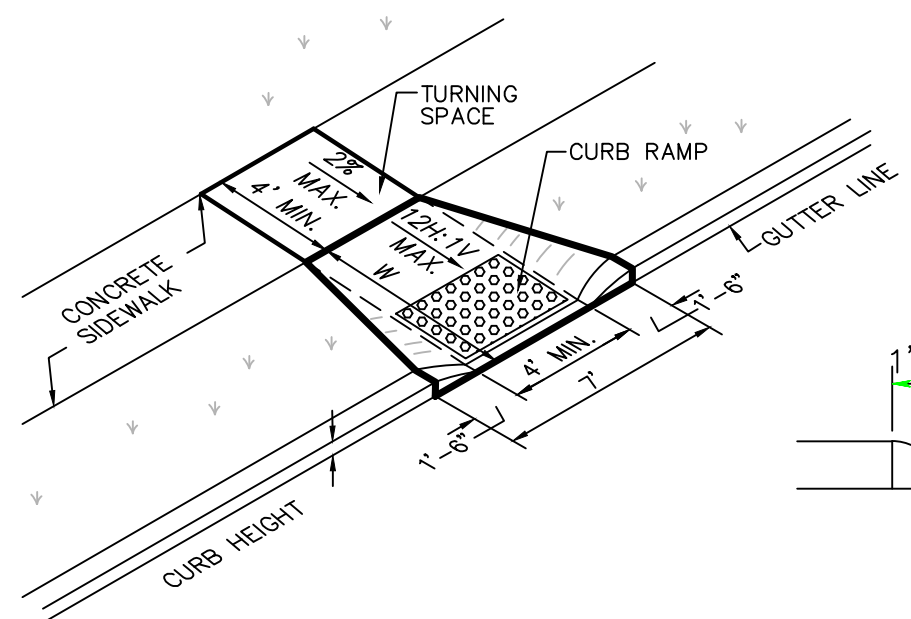
NJDOT CURB RAMP TREATMENT AT CURVES
NOT TO SCALE



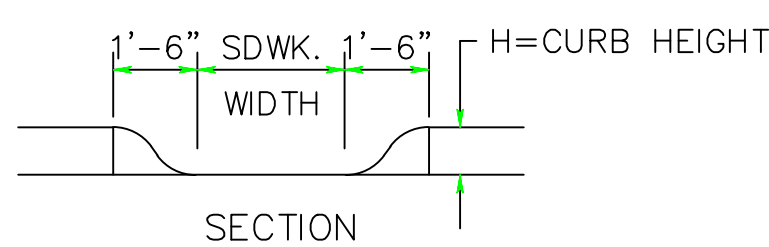
SECTION THROUGH NJDOT CURB RAMP TYPE 1
NOT TO SCALE



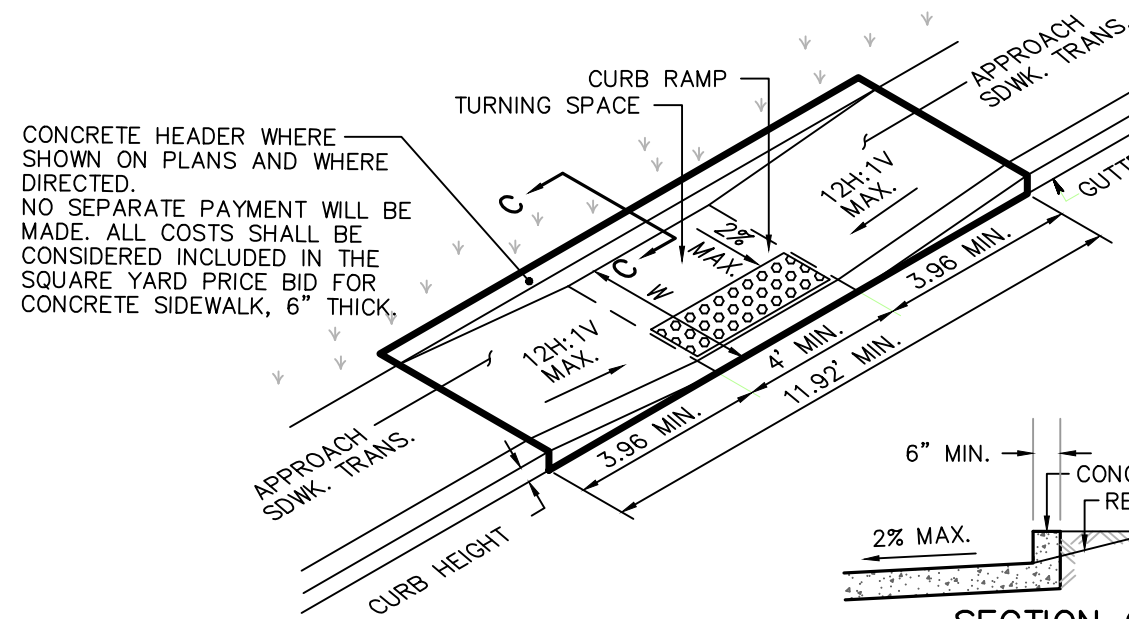
CURB RAMP LEFT MEETING CURB
NOT TO SCALE



CURB RAMP TYPE 2
NOT TO SCALE



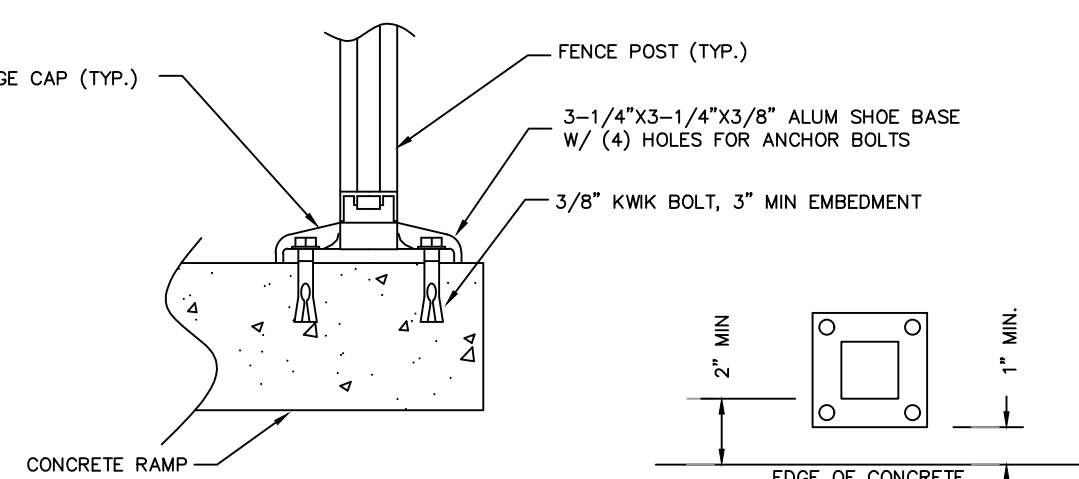
SECTION



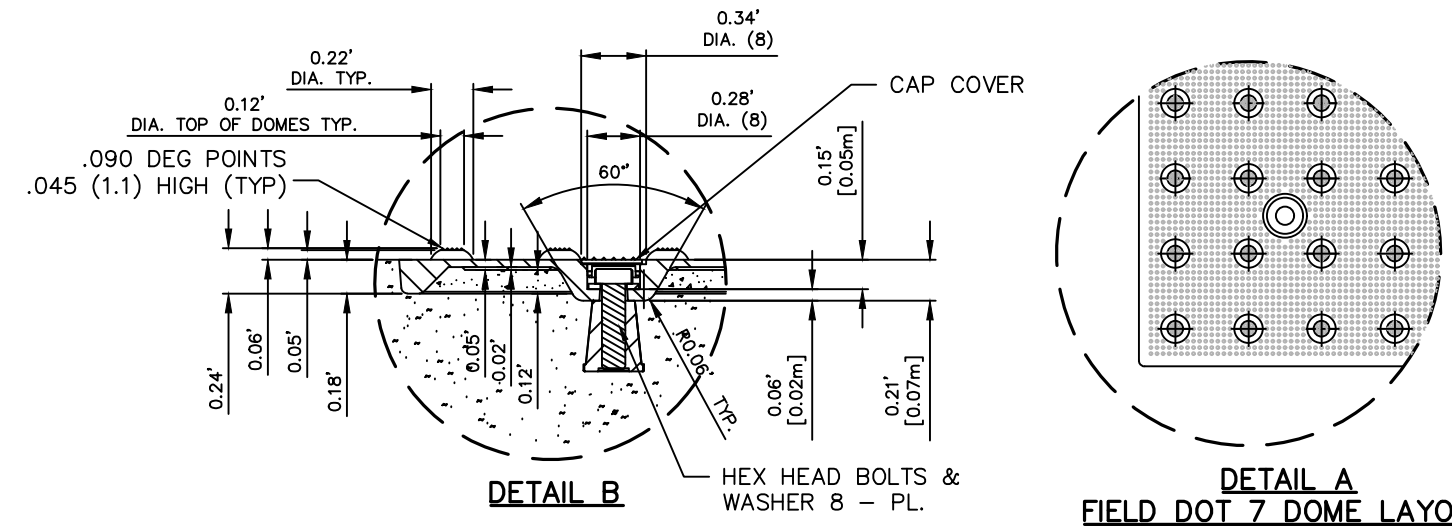
CURB RAMP TYPE 7 (BY ADA PARKING STALLS)
NOT TO SCALE

W FEET	H INCHES	X1 FEET	L1 FEET
4 MIN.	3	3	11
6 MAX.	4	4	13
	5	5	15
	6	6	17
	7	7	19
	8	8	21
	9	9	23

CURB RAMP DETAILS
NOT TO SCALE



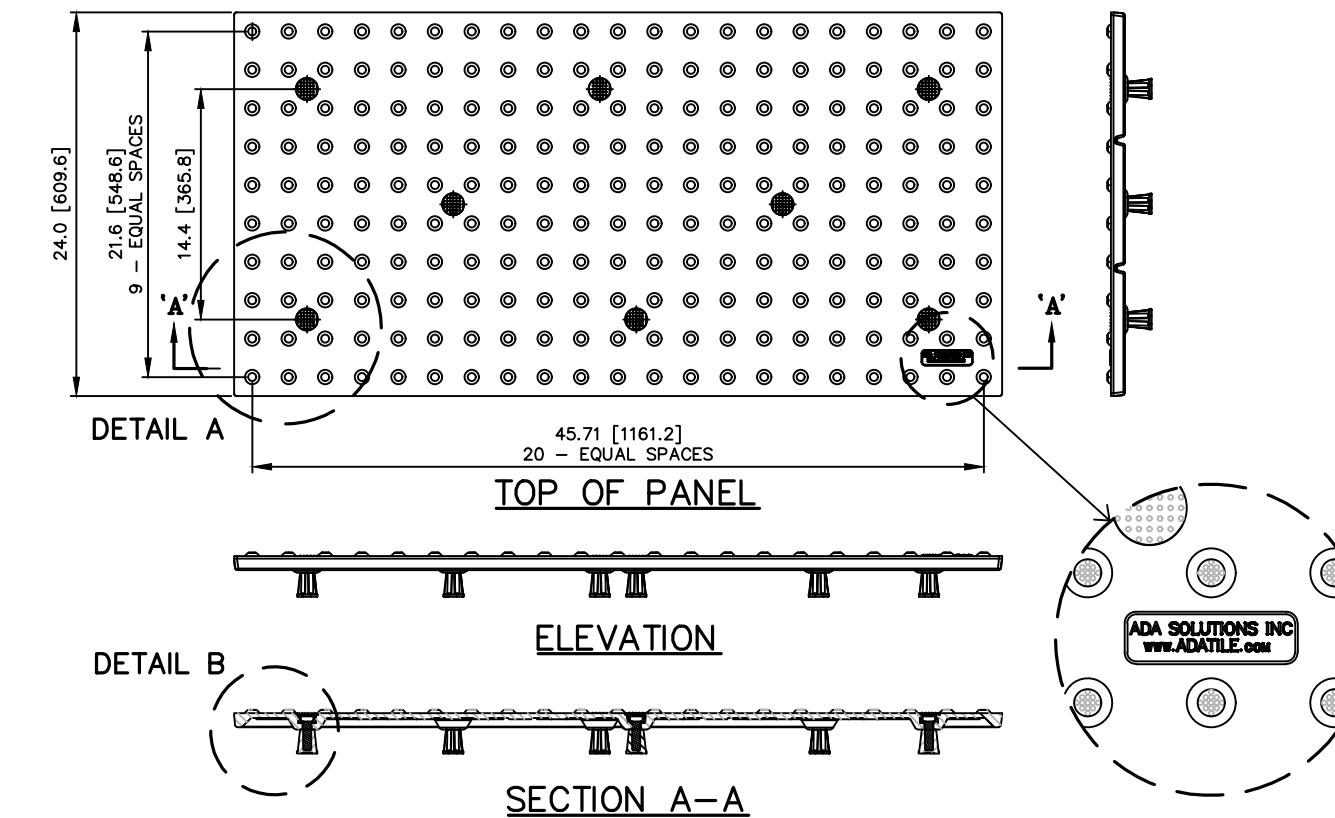
POST ANCHOR
NTS



DETAIL A
FIELD DOT 7 DOME LAYOUT

NOTE:
THE PUBLIC CURB RAMP DETECTABLE WARNING SURFACE SHALL BE SAFETY RED, COLOR CONTRAST ON CONCRETE. THE DETECTABLE WARNING SURFACE SHALL BE CAST-IN-PLACE TILE, SET INTO THE CONCRETE SIDEWALK, AS MANUFACTURED BY ADA SOLUTIONS INC; ARMOR-TILE ENGINEERED PLASTICS CORP; DETECTABLE WARNING SYSTEMS, INC; OR EQUAL.

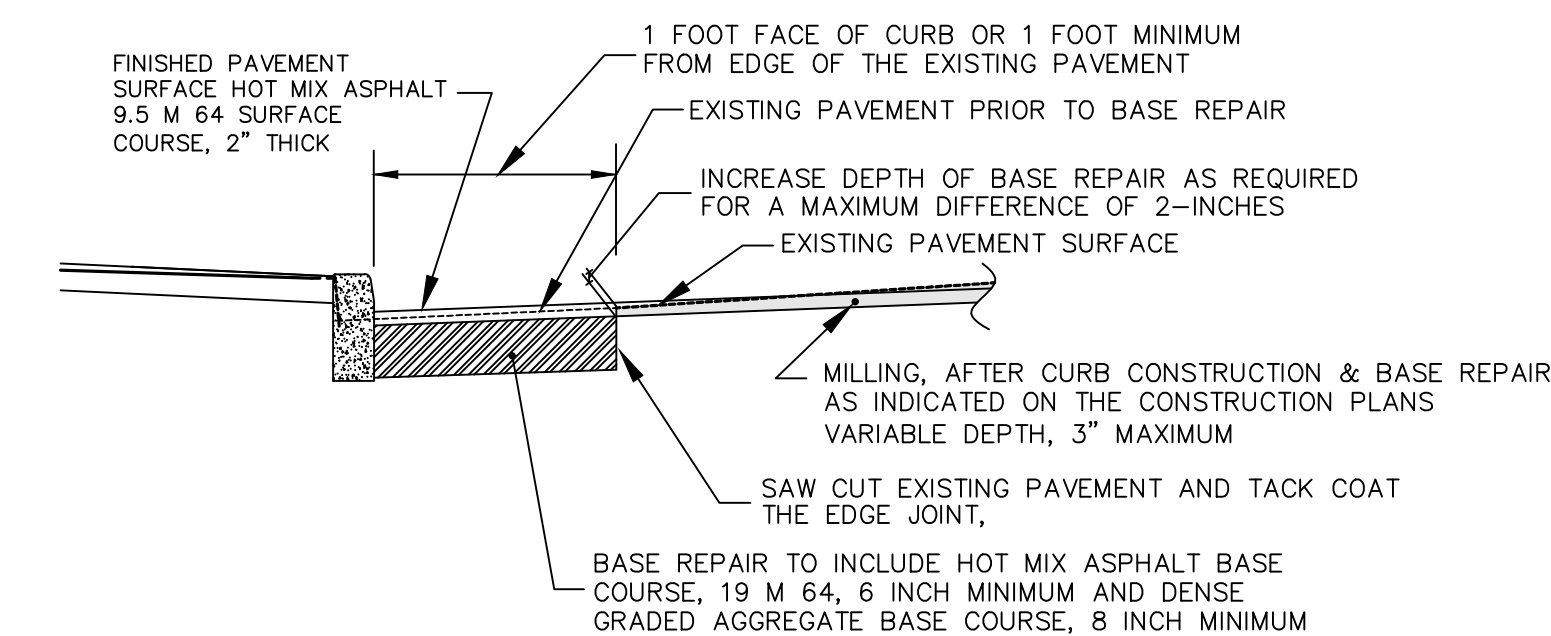
PUBLIC SIDEWALK CURB RAMP DETECTABLE WARNING SURFACE
NOT TO SCALE



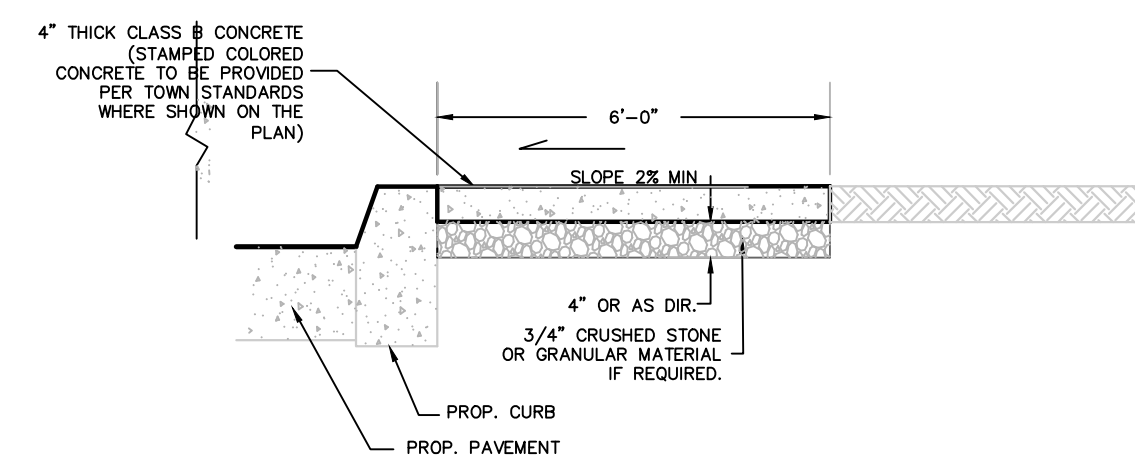
DETAIL A
TOP OF PANEL

ELEVATION

SECTION A-A



TYPICAL HALF-SECTION SHOWING MILLING ADJACENT BASE REPAIR SECTION
NOT TO SCALE



CONCRETE SIDEWALK
NTS

ADA NOTES:

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7 BARRIER FREE ACCESSIBLE FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGREE, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

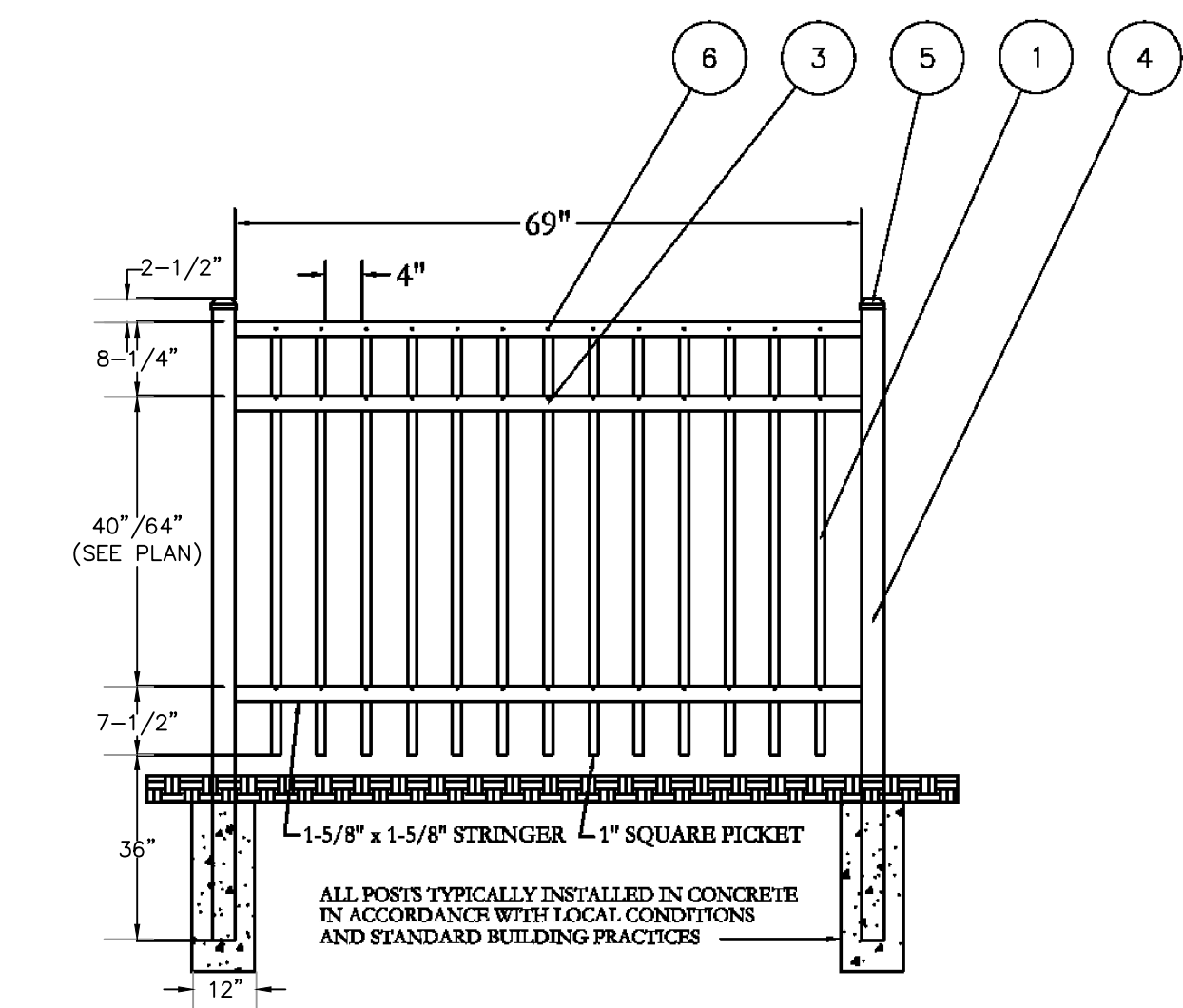
PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) CROSS SLOPE.

PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND LEVEL LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

NJDOT CURB RAMP GENERAL NOTES:

- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB (DROPPED CURB) CURB RAMP TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.



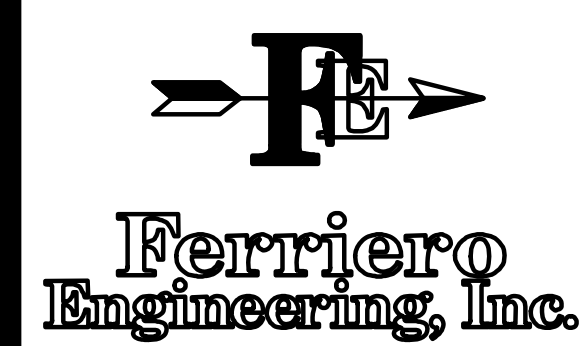
ALUMINUM FENCE DETAIL
NOT TO SCALE

Item	Name
1	202-48 PICKET
3	70-1/2" - 13 HOLE IND. STRINGER
4	2-1/2" POST
5	2-1/2" ALUMINUM POST CAP
6	70-1/2" - 13 HOLE IND. HEADER

NO.	DATE	REVISION

DRAWN BY: JSK SCALE: AS SHOWN FIELD BOOK: -
CHKD BY: PWF FILE: \201051\201051_BASEMAP

PAUL W. FERRIERO
N.J. PROFESSIONAL ENGINEER
NO. GE 32978



180 MAIN STREET P.O. BOX 571
CHESTER, NEW JERSEY 07930
908-879-6209

CERTIFICATE OF AUTHORIZATION 24GA27935400

CONSTRUCTION DETAILS

TAX LOT 6.01
BLOCK 1201
TOWN OF DOVER
MORRIS COUNTY
NEW JERSEY

SHEET
9 OF 9

DATE: 9/16/21 PROJECT NO: 201051
REVISION: